

RECEIVED
TOWN CLERK
BELMONT, MA

CASE NO. 21-14

2021 JUN 18 AM 8:17

NOTICE OF PUBLIC HEARING BY THE
TOWN OF BELMONT PLANNING BOARD

ON APPLICATION FOR ONE SPECIAL PERMITS

Notice is hereby given that the Planning Board will hold a public hearing on Tuesday, July 20th, 2021 at 7:00 PM by remote access through the Zoom app, to consider the application of Mr. Mark Jarzombek and Ms. Nancy Jarzombek to convert the existing barn into an living space at 41 Willow Street located in Single Residence C (SR-C) Zoning District. Special Permits: 1. - §6.11 of the By-Law allows the conversion of an historic accessory building into living space.

Note: Application submittals, meeting agenda & instructions on remote access can be found on the Town's website:
<https://www.belmont-ma.gov/planning-board>

TOWN OF BELMONT PLANNING BOARD

Mark Jarzombek
Nancy Jarzombek
41 Willow Street
Belmont, MA 02478

May 19, 2021

Office of Community Development
Planning Division
Town of Belmont
19 Moore Street
Belmont MA 02478

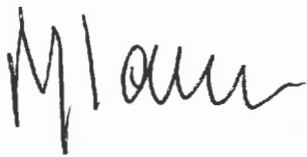
Dear Sir or Madam,

This is to accompany our application for a Special Permit to convert a portion of our barn into habitable space.

The barn behind our house at 41 Willow Street dates from 1905. It served as a carriage house for the original owner of our house who was a grocer. On the left there were stalls for horses and on the right was a large open space for the storage of carriages. In addition, there is an interior staircase and an upstairs portion of the barn used for the storage of hay. The stable was built over a fieldstone foundation which we repaired when we bought the house 20 years ago. The carriage portion which has no basement was fitted with a concrete pad at some moment, we don't know when. There is electricity in the barn, and once there was water for the horses but those pipes are no longer functional.

We would like to put an artist studio into the barn, to be used for painting and drawing. This will affect the carriage-house side of the structure, and only the ground floor. We would like to adapt the barn space so that we can use the studio throughout the year, and so that it is also compatible with the design and spirit of the original structure. The room will have a proper insulated floor, insulated walls, thermal windows, heat, and water lines for a utility sink and a toilet cubby. The exterior of the barn will change minimally. We would like to replace the current windows on the south wall with thermal windows of similar design, and along the back we would like to put in additional windows for extra light. Please see the floorplans and drawings for a better idea of the final product.

We look forward to your thoughts.



Mark M. Jarzombek

Sincerely yours,



Nancy Allyn Jarzombek



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

May 12, 2021

Mr. Mark Jarzombek
41 Willow Street
Belmont, MA 02478

RE: Denial to Convert Barn into Living Space (add a bathroom):

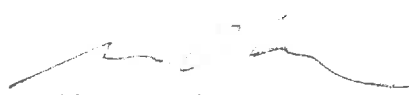
Dear Mr. Jarzombek:

The Office of Community Development is in receipt of your building permit application for the conversion of your barn at 41 Willow Street located in a Single Residence C (SR-C) Zoning District into living space by adding a bathroom.

Your application has been denied because it does not comply with the Town's Zoning By-Law. More specifically, Section 6.11 of the Zoning By-Law, Historic Accessory Building Preservation, requires a Special Permit from the Planning Board to add a bathroom to your barn, and thus convert it to living space.

You may alter your plans to conform to the Zoning By-Law and resubmit a building permit application, or you may request a Special Permit from the Planning Board. If you choose this option, please contact the Office of Community Development to schedule an appointment with a member of the Planning Staff at (617) 993-2666 in order to begin the process.

Sincerely,



Glenn R. Clancy, P.E.
Inspector of Buildings



Town of Belmont
Planning Board

APPLICATION FOR A SPECIAL PERMIT

Date: June 7, 2021

Planning Board
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 41 Willow Street Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____
to convert a portion of the barn to habitable
space so we can have an artist studio there.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner Nancy Jarzombek
Print Name Nancy Jarzombek
Address 41 Willow Street
Belmont, MA 02478
Daytime Telephone Number 617 489 2993

DRAWING INDEX

GENERAL

A0.0 TITLE PAGE

CONSTRUCTION PLANS

A1.1 EXISTING AND PROPOSED FOUNDATION PLANS
A1.2 EXISTING AND PROPOSED FIRST FLOOR PLANS
A1.3 EXISTING LOFT AND ROOF PLANS

ELEVATIONS AND SECTIONS

A2.1 EXISTING AND PROPOSED FRONT ELEVATIONS
A2.2 EXISTING AND PROPOSED REAR & RIGHT ELEVATIONS

PROPOSED RENDERINGS

A3.1 PROPOSED INTERIOR RENDERINGS
A3.2 PROPOSED EXTERIOR RENDERINGS

SCOPE OF WORK

CONVERT EXISTING STORAGE TO BECOME STORAGE WITH STUDIO AND WET ROOM (WITH TOILET). FRONT FACADE TO REMAIN AS EXISTING. ON THE RIGHT SIDE OF THE BUILDING, INSTALL NEW WINDOWS (SAME SIZE AS EXISTING) TO MEET ENERGY CODE REQUIREMENTS FOR CONDITIONED SPACE. ON THE REAR FACADE, INSTALL NEW TRANSOM WINDOWS, SIMILAR TO THE EXISTING WINDOW ON THE LEFT SIDE OF THE REAR FACADE. FLOOR STRUCTURE AND IMPROVED STRUCTURAL SUPPORT FOR EXTERIOR WALLS IS TO BE CONSTRUCTED ENTIRELY INSIDE THE EXISTING BUILDING ENVELOPE

STRUCTURAL ENGINEER

FOREST STRUCTURAL
ENGINEERING

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES.
2. GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
3. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES AND NOTIFY ARCHITECT/OWNER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. ALL EXISTING DIMENSIONS ARE TO THE FACE OF FINISHED SURFACE UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS.
4. GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS.
5. FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL" SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS, AND OTHER ITEMS REQUIRED FOR A COMPLETE AN OPERATION INSTALLATION, UNLESS OTHERWISE NOTED.

ZONING INFO

ZONING DISTRICT
TOWN OF BELMONT
ZONING MAP - AMENDED APRIL 29, 2019
SINGLE RESIDENCE C

APPLICABLE CODES

BUILDING CODE: 2015 IRC WITH 780 CMR NINTH EDITION
MASSACHUSETTS AMENDMENTS

ENERGY CODE: BBRS STRETCH CODE

ARCHITECTURE FIRM:

GMT
HOME DESIGNS
Architects & Designers

CONTRACTOR:

g
gallagher
REMODELING, INC.

THE RENDERINGS ARE FOR VISUALIZATION PURPOSES ONLY - MAY DIFFER SLIGHTLY FROM ACTUAL



EXISTING FRONT RENDERING



PROPOSED FRONT RENDERING

**PROPOSED SITE: 41 WILLOW STREET
BELMONT, MA 02478**



DESIGN BUILD FIRM
Gallagher Remodeling, Inc.
10 Trapele Road
Attn: Roger Gallagher
Belmont, MA 02478
(617) 489-1959
gallagherremodeling.com

ARCHITECTURE FIRM
GMT Home Designs, Inc.
60 Pleasant Street
Suite 10 C
Ashland, MA 01721
(508) 887-7992
gmthomedesigns.com

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ENGINEERING
Scott Forest
scott@forestructural.com
(617) 447-8030

These plans are preliminary and do not contain enough information for pulling a building permit. Drawings to follow once the schematic design is approved by the clients.

TITLE PAGE

SHEET TITLE:

PROJECT ADDRESS:
MARK AND NANCY JARZOMBEK
41 WILLOW STREET
BELMONT, MA 02478

REV. DATE:

4/15/2021

SHEET:

A0.0

EXISTING NOTES: FOUNDATION

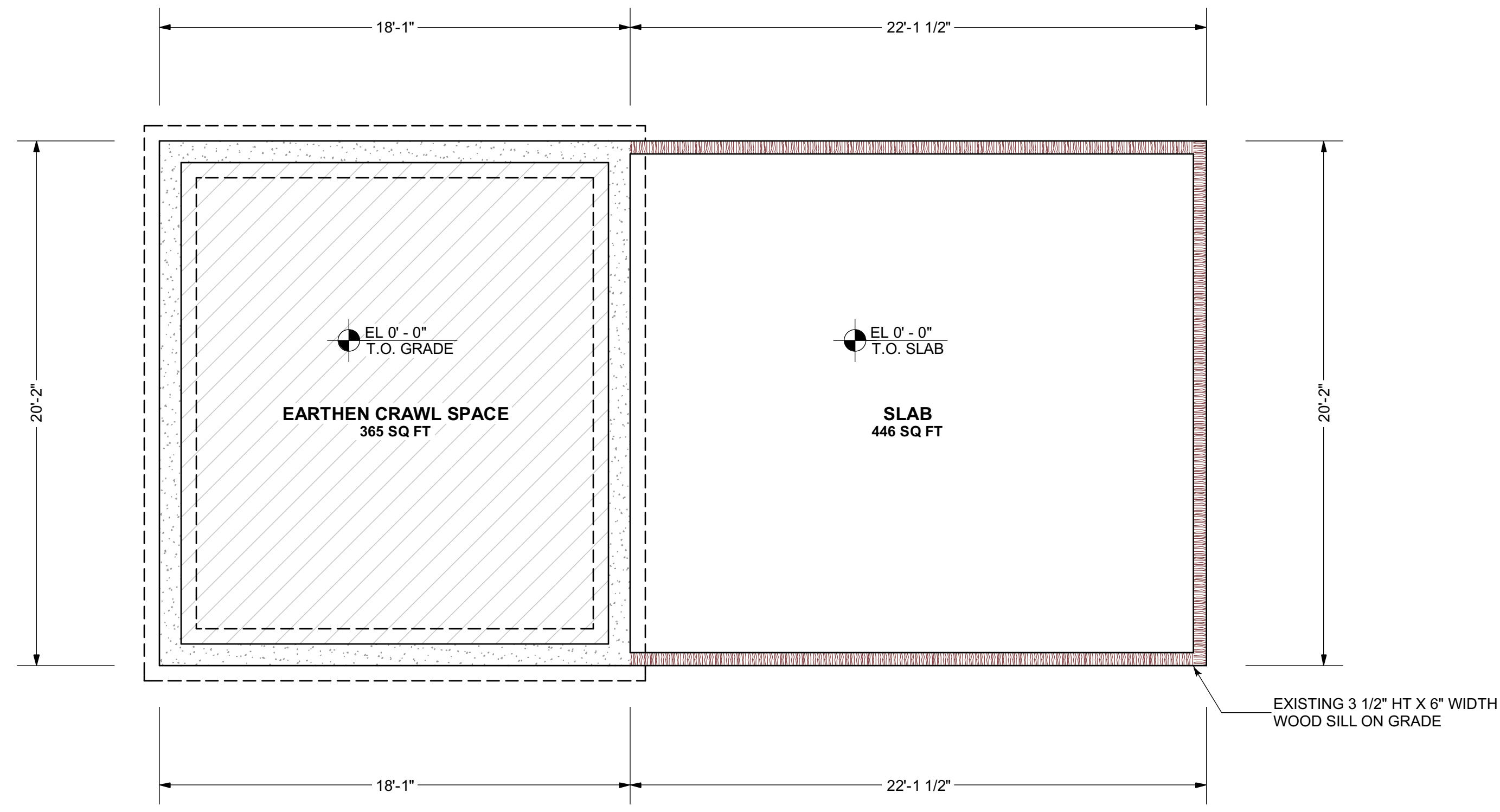
WALLS: CONCRETE FOUNDATION WALL UNDER LIBRARY, 6" WIDE X 3" HT. WOOD SILL ON GRADE AT STORAGE
 FLOOR: CONCRETE SLAB IN STORAGE, EARTHEN FLOOR IN CRAWL SPACE

PROPOSED NOTES: FOUNDATION

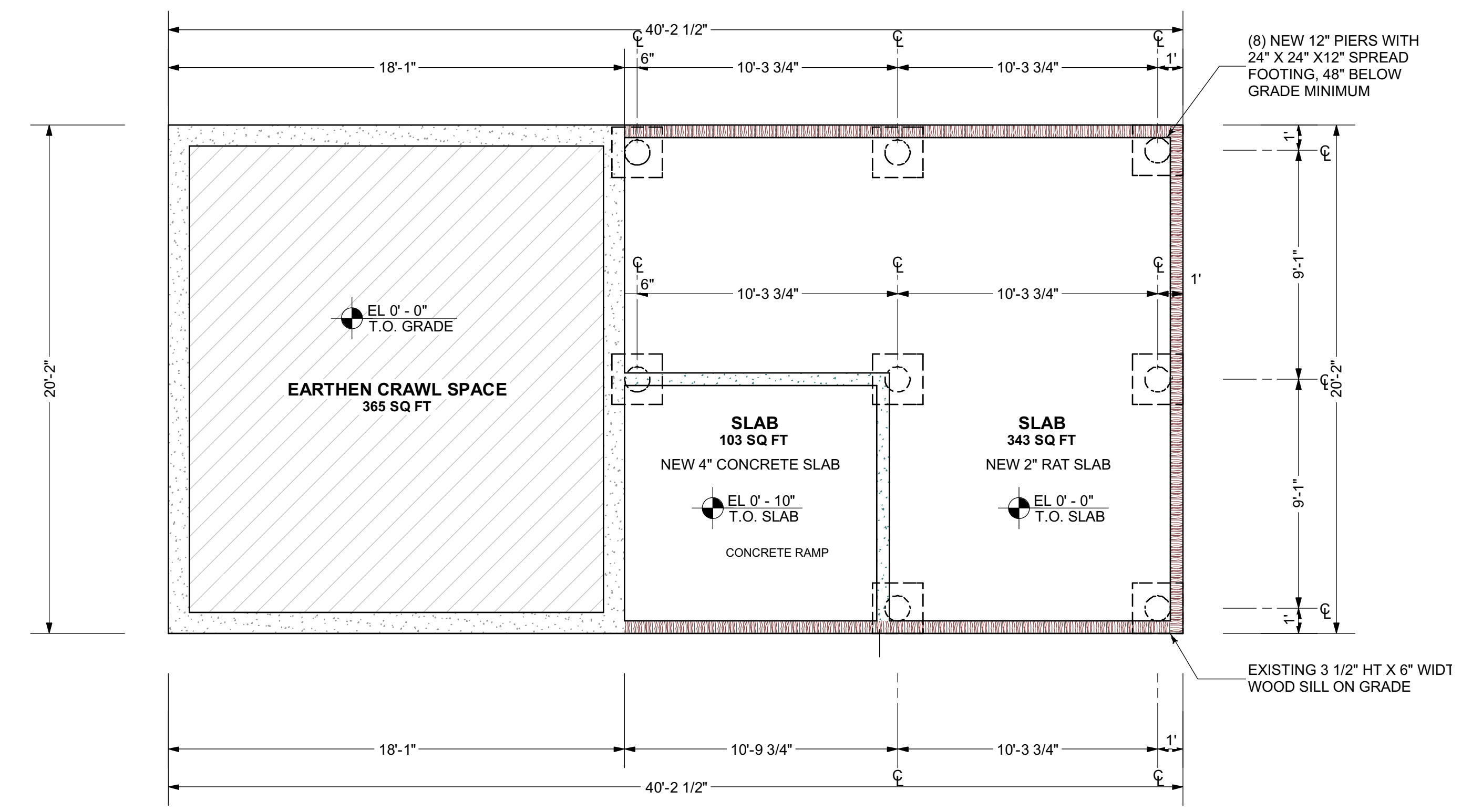
WALLS: 6" WIDE X 3" HT. WOOD SILL ON GRADE AT STORAGE TO REMAIN, INSULATE EXTERIOR WALL TO GRADE
 PIERS: 12" CONCRETE PIERS WITH 24" X 24" X 12" SPREAD FOOTING AT 8 LOCATIONS UNDER ART STUDIO
 FLOOR: NEW ELEVATED CONCRETE SLAB IN STORAGE, 2" CONCRETE SLAB UNDER ART STUDIO

DIMENSIONS:

- ALL EXISTING INTERIOR DIMENSIONS ARE FROM PLASTERED SURFACE TO SURFACE
 - ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR WALL SURFACES
 - ALL PROPOSED DIMENSIONS ARE TAKEN FROM STUD TO STUDD.



A
A1.1 **EXISTING FOUNDATION PLAN**
 SCALE: 1/4" = 1'-0"



B
A1.1 **PROPOSED FOUNDATION PLAN**
 SCALE: 1/4" = 1'-0"

DESIGN BUILD FIRM
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 10 Trapelo Road
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SHEET TITLE:
EXISTING AND PROPOSED FOUNDATION PLANS

PROJECT ADDRESS:
 MARK AND NANCY JARZOMBEK
 41 WILLOW STREET
 BELMONT, MA 02478

REV. DATE:
 4/15/2021

SHEET:

A1.1

EXISTING INTERIOR NOTES: FIRST FLOOR

CASING: FLATSTOCK, SIZE VARIES, OR NONE
 DOOR: RUSTIC ORIGINAL BARN DOOR
 FLOORING: RUSTIC BOARD SUBFLOORING
 WALLS: RUSTIC BEADBOARD MOUNTED HORIZONTAL

SPECIAL NOTE:

ALL EXISTING FRAMING MEMBERS SIZES AND DIRECTION OF JOISTS TO BE CONFIRMED IN FIELD

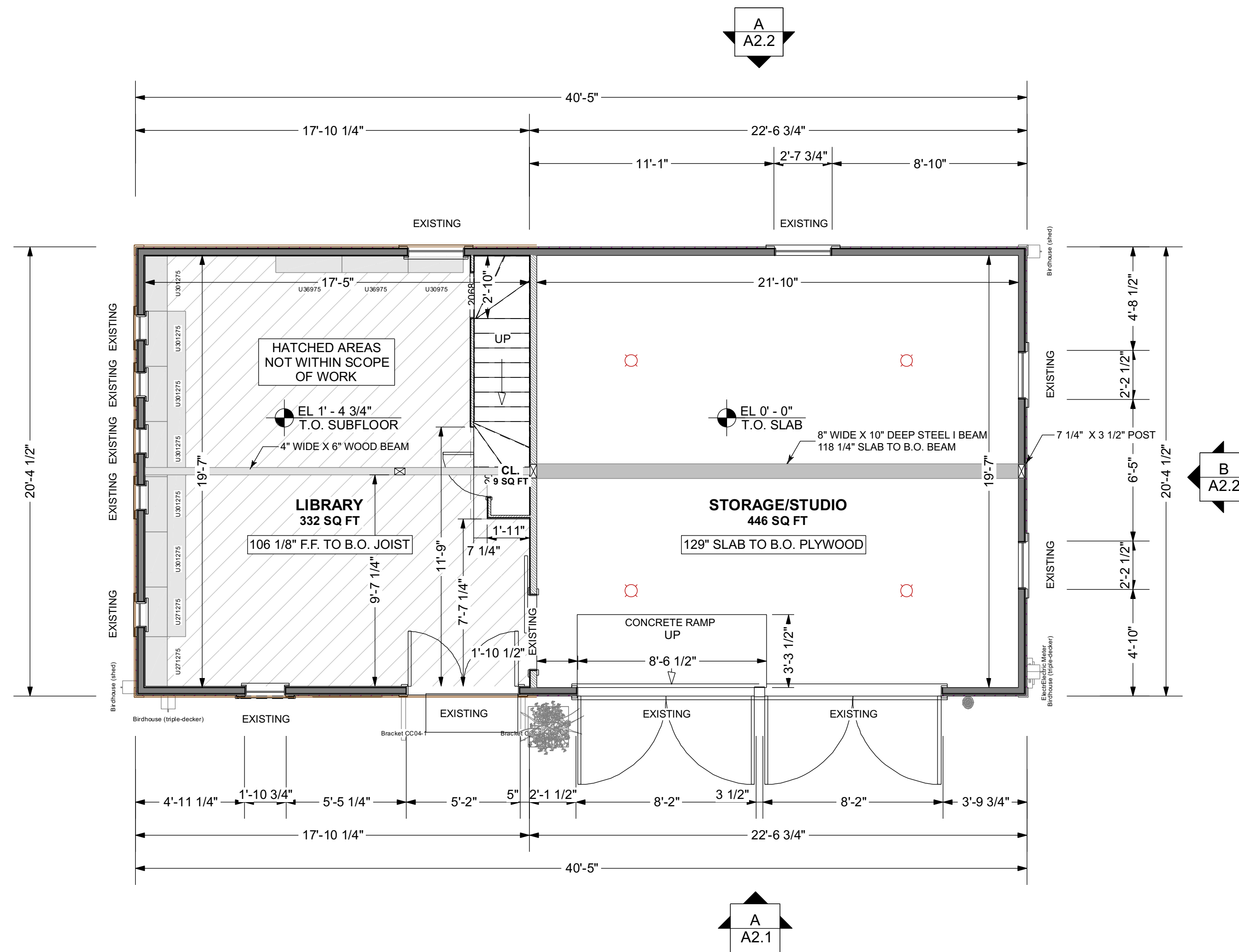
PROPOSED INTERIOR NOTES: FIRST FLOOR

CASING: FLATSTOCK, 1X4 WITH 1X6 LINTEL, BLEACHED WOOD
 DOOR: WOOD 2 PANEL, BLEACHED WOOD
 FLOORING: RUSTIC WOOD FLOORING
 WALLS: BLEACHED PLYWOOD AND T-1 STAINED TO MATCH BLEACHED WOOD

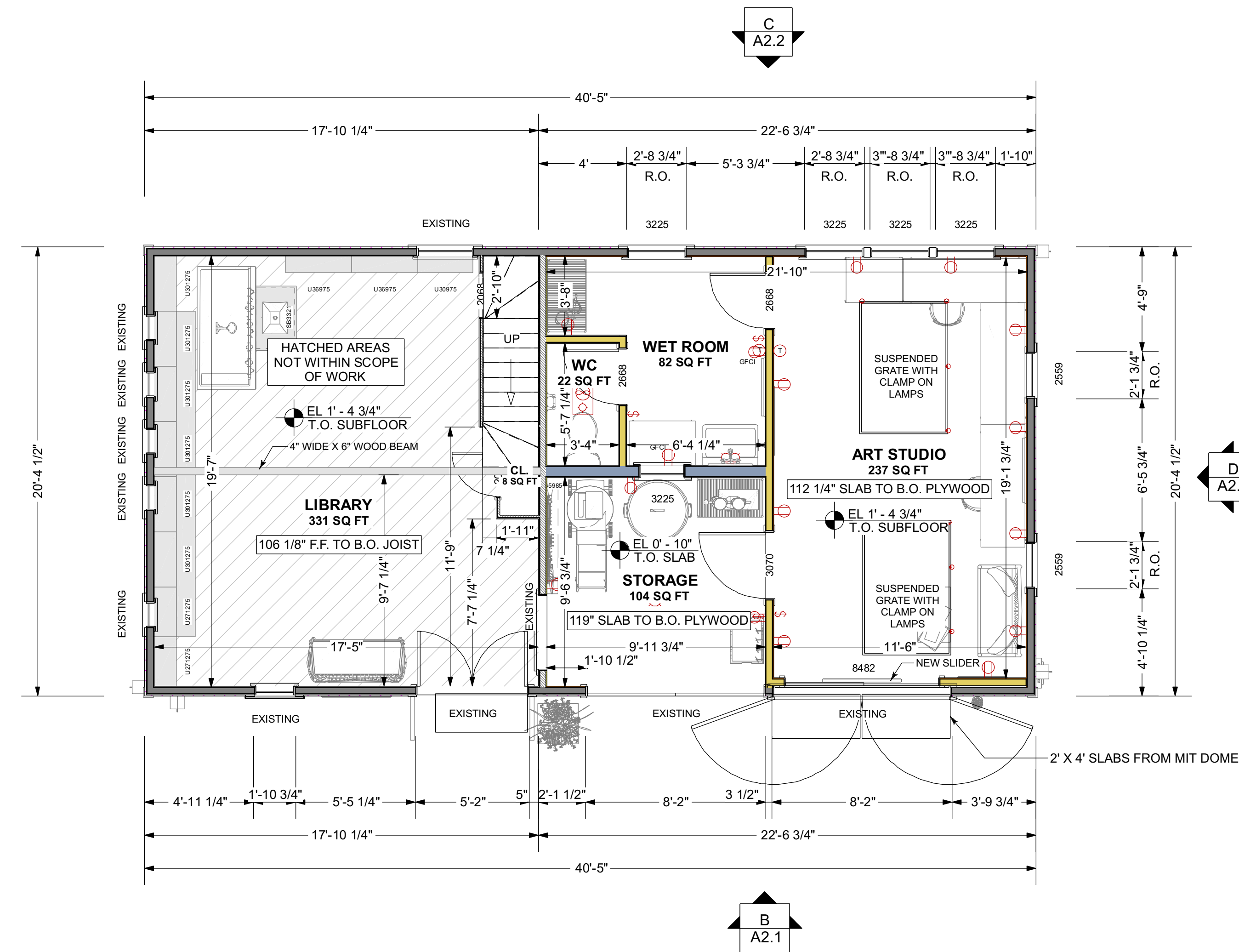
NOTE THAT STORAGE IS UNCONDITIONED SPACE
 ART STUDIO AND WET ROOM ARE CONDITIONED BUT ON SEPARATE THERMOSTATS

DIMENSIONS:

- ALL EXISTING INTERIOR DIMENSIONS ARE FROM PLASTERED SURFACE TO SURFACE
 - ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR WALL SURFACES
 - ALL PROPOSED DIMENSIONS ARE TAKEN FROM STUD TO STUD



A
A1.2 **EXISTING FIRST FLOOR PLAN**
 SCALE: 1/4" = 1'-0"



B
A1.2 **PROPOSED FIRST FLOOR PLAN**
 SCALE: 1/4" = 1'-0"

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SHEET TITLE:
EXISTING AND PROPOSED FIRST FLOOR PLANS

PROJECT ADDRESS:
 MARK AND NANCY JARZOMBEK
 41 WILLOW STREET
 BELMONT, MA 02478

REV. DATE:
 4/15/2021

SHEET:
 A1.2

EXISTING INTERIOR NOTES: LOFT

CASING: NONE
 FLOORING: RUSTIC SUBFLOOR PLANKS

SPECIAL NOTE:

ALL EXISTING FRAMING MEMBERS SIZES AND DIRECTION OF JOISTS TO BE CONFIRMED IN FIELD

EXISTING ROOF NOTES:

ROOFING: 3 TAB ASPHALT SHINGLE, DARK GREY
 GUTTER: WOOD, PAINTED WHITE

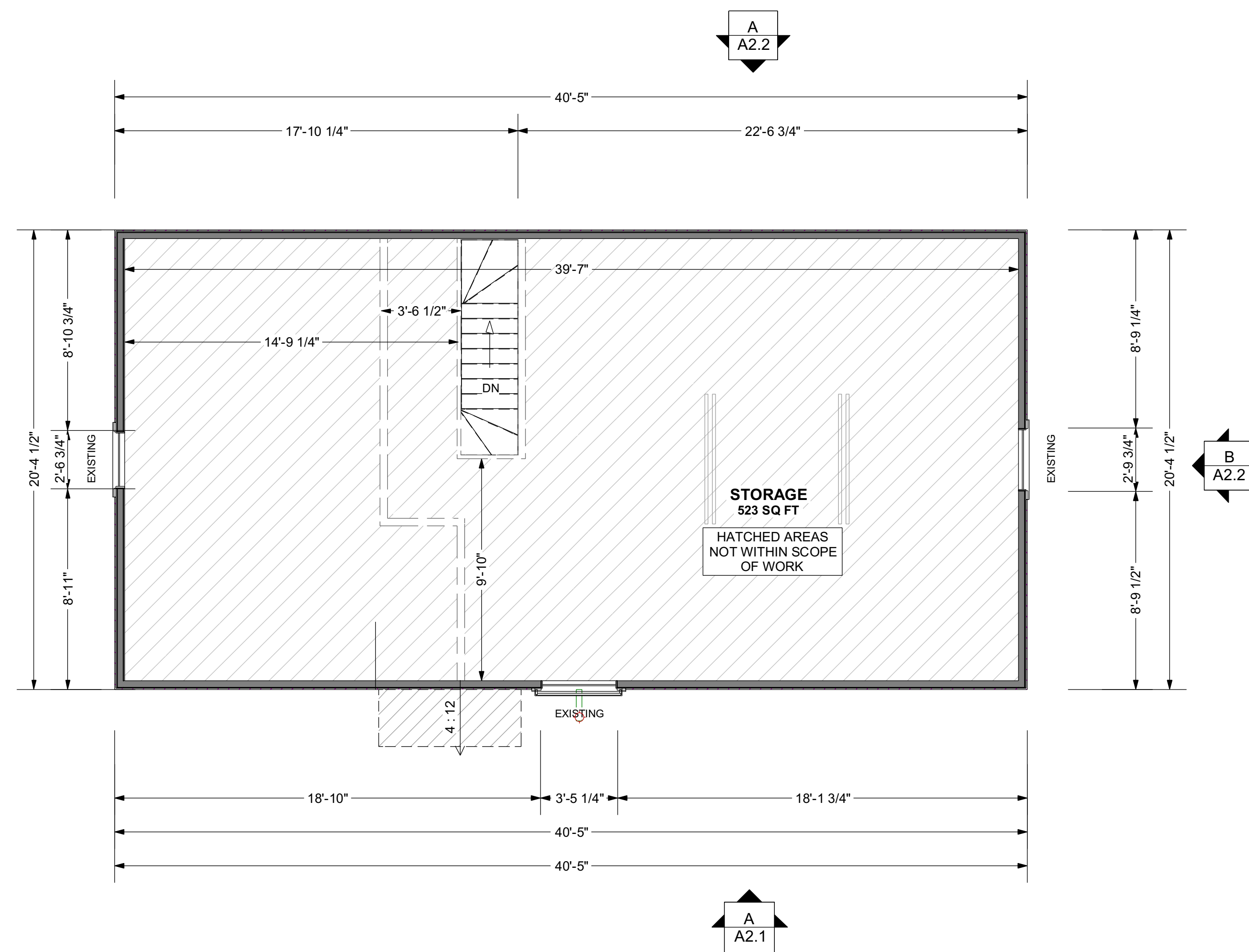
PROPOSED ROOF NOTES:

ROOFING: 3 TAB ASPHALT SHINGLE, DARK GREY
 GUTTER: NEW WOOD GUTTERS, PAINTED WHITE, TO MATCH EXISTING

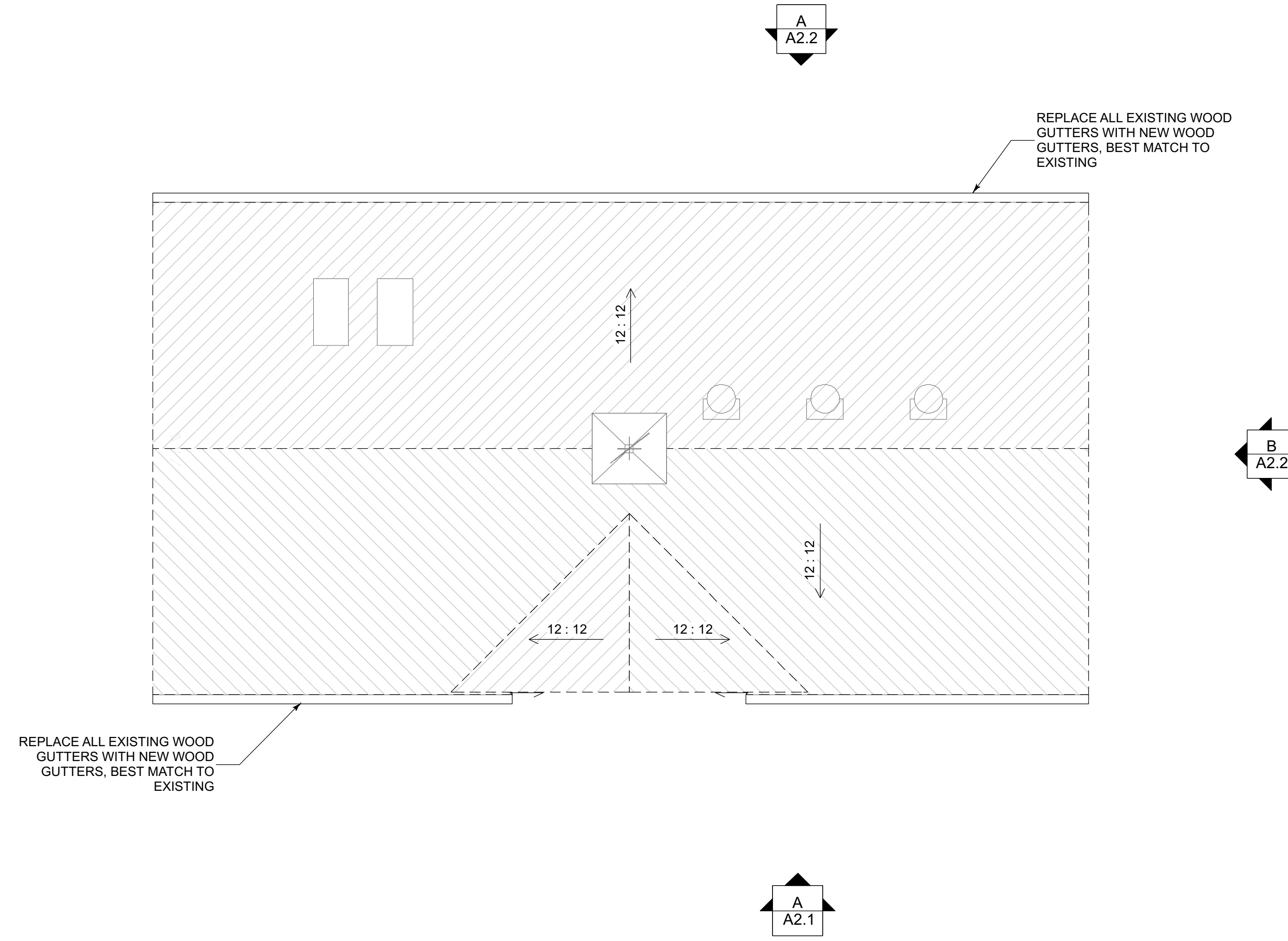
DIMENSIONS:

- ALL EXISTING INTERIOR DIMENSIONS ARE FROM PLASTERED SURFACE TO SURFACE
 - ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR WALL SURFACES
 - ALL PROPOSED DIMENSIONS ARE TAKEN FROM STUD TO STUD

NO WORK ON LOFT PLAN



A
A1.3 EXISTING LOFT FLOOR PLAN
 SCALE: 1/4" = 1'-0"



B
A1.3 EXISTING/PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"

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SHEET TITLE:
 EXISTING LOFT AND ROOF PLANS

PROJECT ADDRESS:
 MARK AND NANCY JARZOMBEK
 41 WILLOW STREET
 BELMONT, MA 02478

REV. DATE:
 4/15/2021

SHEET:
 A1.3



A
A2.1 **EXISTING FRONT ELEVATION**
SCALE: 1/4" = 1'-0"

EXISTING EXTERIOR NOTES:

SIDING: 4" WOOD CLAPBOARD, PAINTED WHITE
 ROOF: 3 TAB ASPHALT SHINGLE, DARK GREY
 GUTTER: WOOD, PAINTED WHITE
 CASINGS: 4 3/4" WOOD WITH 6 1/2" LINTEL, PAINTED WHITE
 CORNER BOARD: 5 1/2" WOOD, PAINTED WHITE
 WATER TABLE: 7" FLATSTOCK, PAINTED WHITE, ON LEFT SIDE ONLY



B
A2.1 **PROPOSED FRONT ELEVATION**
SCALE: 1/4" = 1'-0"

PROPOSED EXTERIOR NOTES:

SIDING: 4" WOOD CLAPBOARD, PAINTED WHITE, TO MATCH EXISTING AS NEEDED
 GUTTER: REPLACE WOOD GUTTER, PAINTED WHITE
 CASINGS: 4 3/4" WOOD WITH 6 1/2" LINTEL, PAINTED WHITE, TO MATCH EXISTING AS NEEDED
 CORNER BOARD: 5 1/2" WOOD, PAINTED WHITE, TO MATCH EXISTING AS NEEDED



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SHEET TITLE:
EXISTING AND PROPOSED FRONT ELEVATIONS

PROJECT ADDRESS:
 MARK AND NANCY JARZOMBEK
 41 WILLOW STREET
 BELMONT, MA 02478

REV. DATE:
 4/15/2021

SHEET:

A2.1



A EXISTING REAR ELEVATION
A2.2 SCALE: 1/4" = 1'-0"



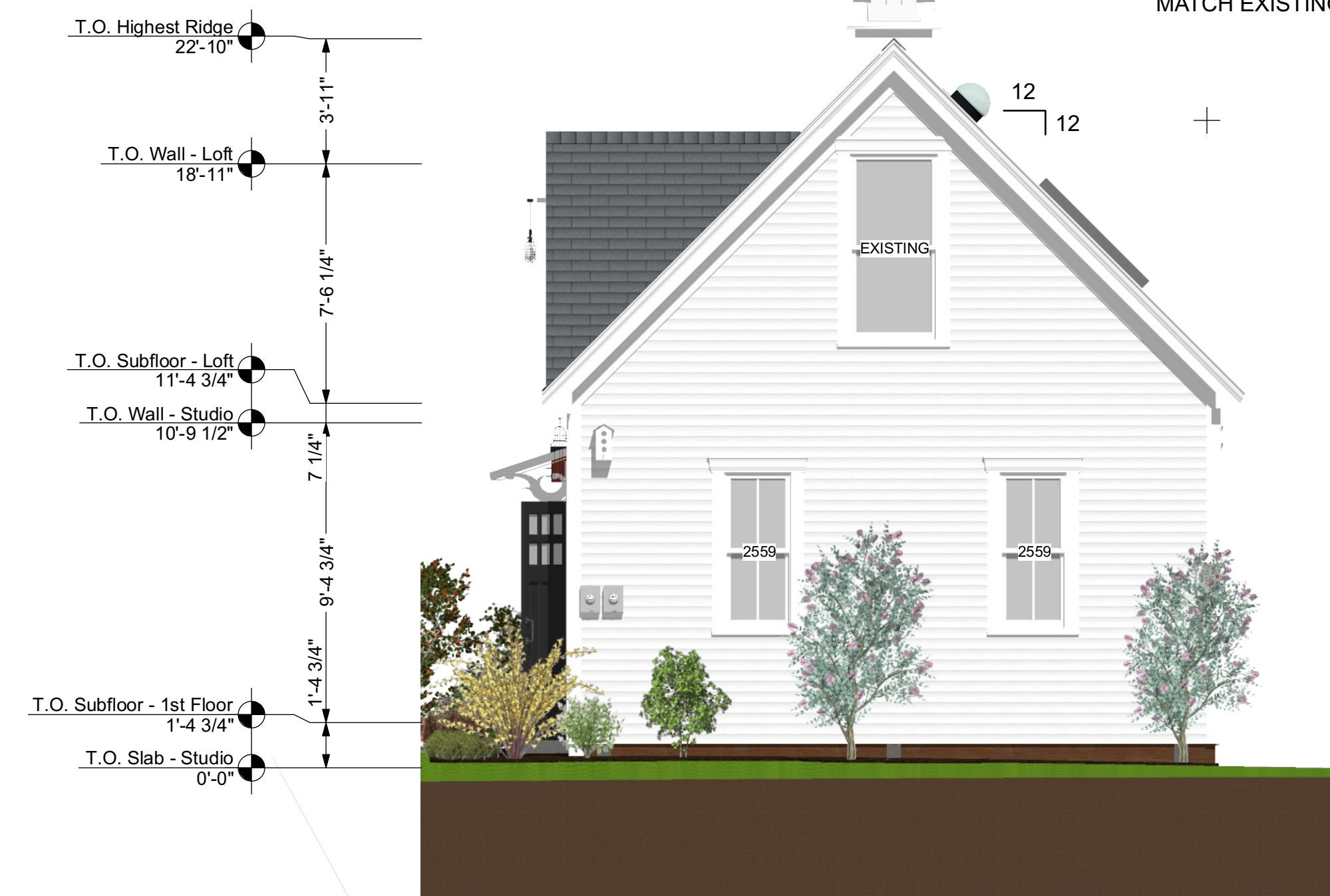
B EXISTING RIGHT ELEVATION
A2.2 SCALE: 1/4" = 1'-0"

EXISTING EXTERIOR NOTES:

SIDING: 4" WOOD CLAPBOARD, PAINTED WHITE
 ROOF: 3 TAB ASPHALT SHINGLE, DARK GREY
 CASINGS: 4 3/4" WOOD WITH 6 1/2" LINTEL, PAINTED WHITE
 CORNER BOARD: 5 1/2" WOOD, PAINTED WHITE
 *WATER TABLE: 7" FLATSTOCK, PAINTED WHITE, ON LEFT SIDE ONLY



C PROPOSED REAR ELEVATION
A2.2 SCALE: 1/4" = 1'-0"



D PROPOSED RIGHT ELEVATION
A2.2 SCALE: 1/4" = 1'-0"

PROPOSED EXTERIOR NOTES:

SIDING: 4" WOOD CLAPBOARD, PAINTED WHITE, TO MATCH EXISTING AS NEEDED
 GUTTER: REPLACE WOOD GUTTER, PAINTED WHITE
 CASINGS: 4 3/4" WOOD WITH 6 1/2" LINTEL, PAINTED WHITE, TO MATCH EXISTING AS NEEDED
 CORNER BOARD: 5 1/2" WOOD, PAINTED WHITE, TO MATCH EXISTING AS NEEDED

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SHEET TITLE:
 EXISTING AND PROPOSED REAR & RIGHT ELEVATIONS

PROJECT ADDRESS:
 MARK AND NANCY JARZOMBEK
 41 WILLOW STREET
 BELMONT, MA 02478

REV. DATE:
 4/15/2021

SHEET:

A2.2

PROPOSED EXTERIOR RENDERINGS - SCHEME A1



A
A3.1 **PROPOSED EXTERIOR RENDERINGS**
SCALE: NTS

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These plans are only
schematic and do not contain
enough information for
pulling a building
permit. Drawings to follow once
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approved by the clients.

SHEET TITLE:
**PROPOSED EXTERIOR
RENDERINGS**

PROJECT ADDRESS:
MARK AND NANCY JARZOMBEK
41 WILLOW STREET
BELMONT, MA 02478

REV. DATE:
4/15/2021

SHEET:
A3.1

PROPOSED INTERIOR RENDERINGS - SCHEME A1



A PROPOSED INTERIOR RENDERINGS
A3.2 SCALE: NTS



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SHEET TITLE:
**PROPOSED INTERIOR
RENDERINGS**

PROJECT ADDRESS:
MARK AND NANCY JARZOMBEK
41 WILLOW STREET
BELMONT, MA 02478

REV. DATE:
4/15/2021

SHEET:
A3.2