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BELMONT, MA

2018 JUL 11 PM 2:07

CASE NO. 18-13

NOTICE OF PUBLIC HEARING BY THE
PLANNING BOARD

ON APPLICATION FOR A SPECIAL PERMIT

Notice is hereby given that the Belmont Planning Board will hold a public hearing on TUESDAY, JULY 17, 2018, at 7:00 PM in the Board of Selectmen's Meeting Room, Town Hall, 455 Concord Ave., to consider the application of CRAIG GALLOWAY for A SPECIAL PERMIT under Section 4.2.2 (allowed height: 2-1/2 stories; existing: 3 stories; proposed: 3-1/2 stories) IN ORDER TO CONSTRUCT A DORMER at 45-47 CHANNING ROAD located in a General Residence Zoning District.

Planning Board



Town of Belmont
Planning Board

APPLICATION FOR A SPECIAL PERMIT


Date: 6/1/18

Planning Board
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 45-47 Channing Street/Road hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for corner addition.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner 
Print Name CRAIG GALLOWAY
Address 45 CHANNING ROAD
BELMONT, MA 02478
Daytime Telephone Number 617-839-3684

Request for Special Permit

Submitted by Craig Galloway – Owner of 45-47 Channing Road, Belmont, MA 02478

Introduction:

My name is Craig Galloway, owner of the 2-family home at 45-47 Channing Road in Belmont. I occupy the 2nd floor unit at 45 Channing Road, which is the unit impacted by this Permit Request.

I have lived in Belmont for the past 16 years both renting and owning, purchasing this residence in January of 2017 to be closer to my two children, Collin age 13 and Aidan age 12, who also reside at 131 Cross Street with my ex-wife when they aren't with me.

The project I am proposing is for personal use as the primary residence for me and my family. It is my desire to create an environment that is safe, functional, of comparable comfort to my sons' home on Cross Street and, most importantly, to make the house more of a home for us all.

Project Description & Technical Aspects:

I am applying for special permit because my basement isn't far enough into the ground to be considered a cellar (it was calculated as 41% below grade, so it counts as a story) and to allow for a fractional increase to my presently non-conforming lot coverage.

Apart from those distinctions, everything in my proposed plans and presented here is fully compliant with current Belmont zoning criteria.

The primary element of my proposal is to convert my current half story into a safer, more livable space by raising the ridge line of the roof and adding a dormer that fully complies with Belmont zoning criteria for half story additions.

The current half story includes two existing rooms and a storage closet that we would like to reconfigure and increase slightly in area. Access to these two rooms is currently gained via an antiquated and unsafe spiral staircase. The issue with the current space, apart from the spiral stair access, is the ceiling height. It peaks at 6'6" in the center and drops with the slope of the roof leaving less than a 4-foot span side to side where a person of average height can stand fully upright (see pictures A, B, C, D & E). As such, the entire existing space and access to the space does not comply with current building code requirements for head height and is essentially unlivable for a full-sized adult (or growing teenage boys.) In addition, the windows on this level do not meet fire egress code and a lack of adequate insulation makes the space uncomfortable and expensive to heat and cool.

The main level includes 2 bedrooms and 1 full bath, along with the non-conforming spiral staircase (see Pictures F & G) that presents a major obstacle in the central transition space between the bedrooms and bathroom and the rest of the main floor. The staircase is both an eyesore and a hazard.

The proposed addition is largely the same as what exists today (2 rooms and closet storage with the addition of a full bath) in a slightly expanded layout designed to be safer and more livable by increasing the ceiling height and changing access into a walk-up staircase.

To achieve this design, we would raise the current ridge line by approximately 6 feet, which brings the midpoint elevation of the roof from 26.4' to 29', still well below the zoning allowance of 33'. We would also add a dormer to the West (driveway) side of the house, which fully conforms to the zoning allowance for side set-backs, being a full 15.8' from the property line on that side.

From an exterior standpoint, this design is fully in keeping with the look and feel of several other dormered two-family homes on Channing Road (see pictures H, I & J) and throughout Belmont. The house is also unique in that there are no neighboring homes directly behind (train tracks) or directly in front (entrance to Cross Street) of the property, so the changes to elevation and structure will have little to no impact on the sight views of my neighbors, whom I have consulted with and have support from.

As part of the work to perform this half story modification, I am also asking the Planning Board to approve a small, but functional 2nd story deck off of the back side of the house. The current non-conforming lot coverage is 31.8%, which the proposed deck would make 33.1%. The deck is proposed at the rear of the property directly facing the railroad tracks, making it completely non-invasive to neighbors and essentially equivalent to the 2nd floor outdoor spaces of my neighbors on both sides (see pictures K & L). It would have equivalent drainage implications to that of a patio with water passing through it; and it would result in zero loss of green space as it would be effectively cantilevered a full 14' above grade thus allowing the integration of outdoor space to the second floor unit without any actual loss of usable space at the ground level.

The Human Component:

I would like to note that I have spoken with and acquired signatures of support from my neighbors and that I have worked to create a design keeping in line with the planning board's stated objective, "to protect and preserve the character and quality of life that defines Belmont."

I have worked with Keith Miller of Miller Design, a local Belmont architect, to review options for creating a space more suitable to my family's needs while ensuring compliance with current zoning and building standards. In working with Keith, we believe the proposed addition is in keeping with the character of the neighborhood (as supported by photos of similar dormer projects 4 and 6 houses away) and truly represents an enhancement to the community by providing safer, more functional and more aesthetically designed space. I feel very strongly that with our thoughtful approach to design that includes considerations for building code and energy code compliance that this addition is not detrimental to the community.

I am asking the Planning Board of Appeals to grant a special permit allowing me to perform this renovation and sincerely appreciate your consideration.

Request for Special Permit

Submitted by Craig Galloway – Owner of 45-47 Channing Road, Belmont, MA 02478

Current non-conforming half story:



Picture A – Main Room



Picture B – Main Room – Facing Street



Picture C – Half Story Access / Sitting Room / Closet Door



Picture D – Perspective shot

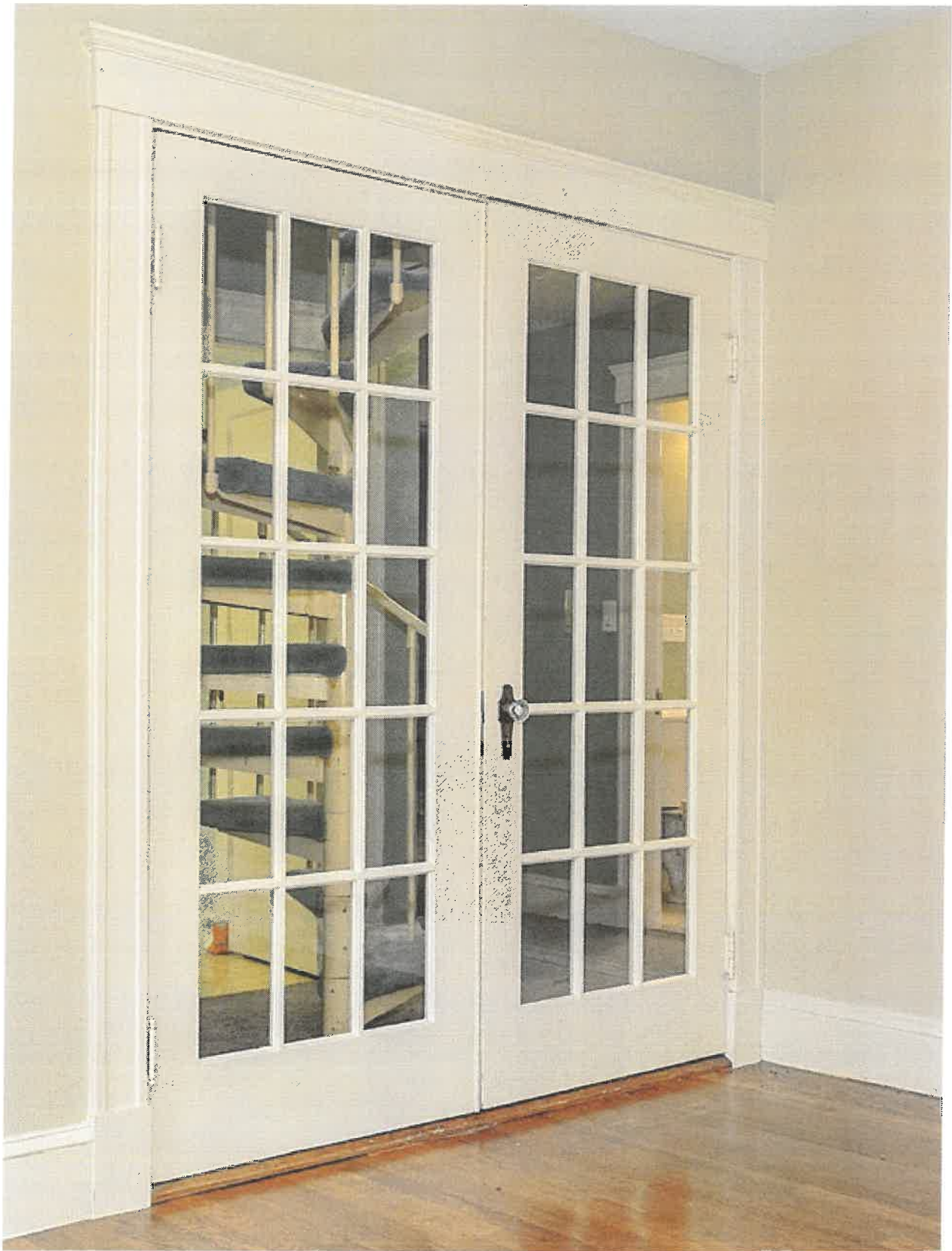


Picture E – Shows peak ceiling height of 6'6"

Current non-conforming spiral staircase:



Picture F – Non-conforming spiral stair – main level



Picture G - Spiral staircase shown from dining room. Illustrates how the stairs restrict movement in the transition between dining room and kitchen and to the bedrooms and bathroom.

Existing Dormered 2 Family Homes Close By:



Picture H - 27-29 Channing Road



Picture I - 17-19 Channing Road

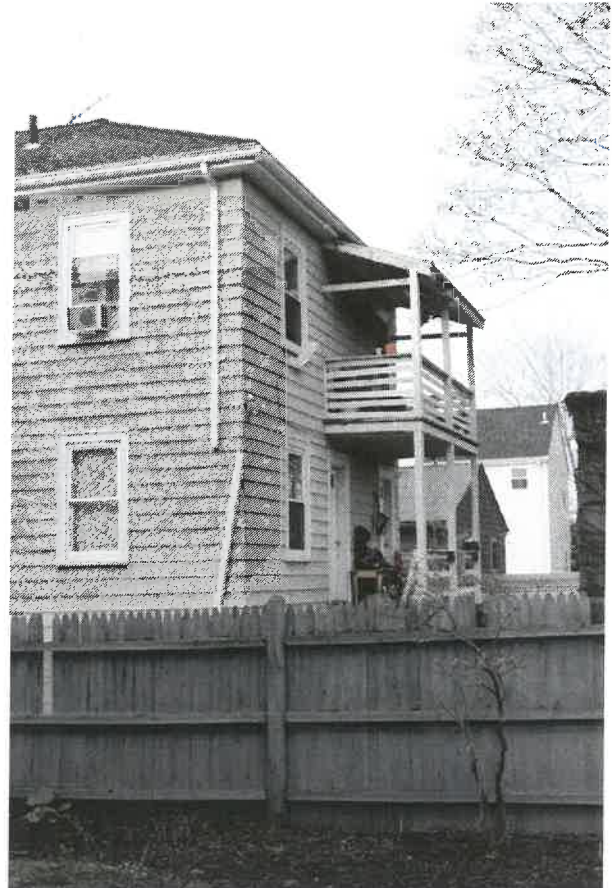


Picture J - 28-30 Cross Street

Existing Back Yard Outdoor Deck Space For Adjacent Neighbors:




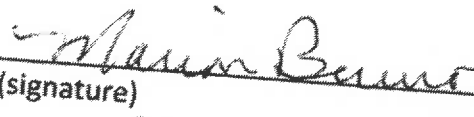



Picture K – 39-41 Channing Road





Picture L – 51-53 Channing Road


Petition For Belmont Planning Board - Request for Special Permit
Craig Galloway - 45-47 Channing Road

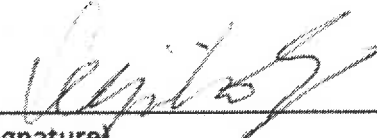
We, the neighbors of Craig Galloway of 45-47 Channing Road, Belmont MA have reviewed his plans to add a dormer and rear deck at the above-mentioned address. Furthermore, we support his petition for a special permit allowing him to proceed with this addition.

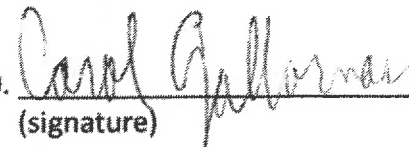
1.  Ana Adanyan
(signature) (name)
49 Channing rd, Belmont MA 02478
(address)
2.  Marlen Bruno
(signature) (name)
53 Channing Rd.
(address)
3.  Shon E Spalding
(signature) (name)
40 Channing Rd Belmont
(address)
4.  KAREN FUNKENSTEIN
(signature) (name)
27 CHANNING RD. BELMONT, MA 02478
(address)
5.  A. Funkenstein (Amy)
(signature) (name)
29 Channing Rd. Belmont, MA 02478
(address)


6.  ALAN WUERINEN
(signature) (name)
33 Channing Rd.
(address)

7.  Julie Stanton-Cidese
(signature) (name)
35 Channing Road
(address)

8.  Kyle Guilbert
(signature) (name)
37 Channing
(address)

9.  Jinho Lee
(signature) (name)
41 Channing
(address)

10.  Carol Galloway
(signature) (name)
3 Cross Street
(address)

11.  IAN PARSONS
(signature) (name)
39 Channing Rd
(address)

12. _____
(signature) (name)

(address)

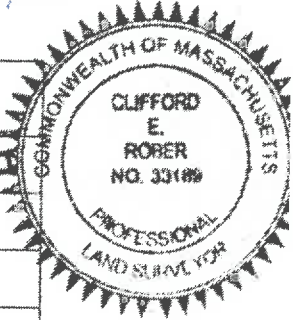
Zoning Compliance Check List

Properties Located within the GR Zoning Districts

(To be Completed by a Registered Land Surveyor)

Property Address: 45.47 CHANNING ROAD

Surveyor Signature and Stamp:  Date: 5/31/17



Per §4.2 of the Zoning By-Laws

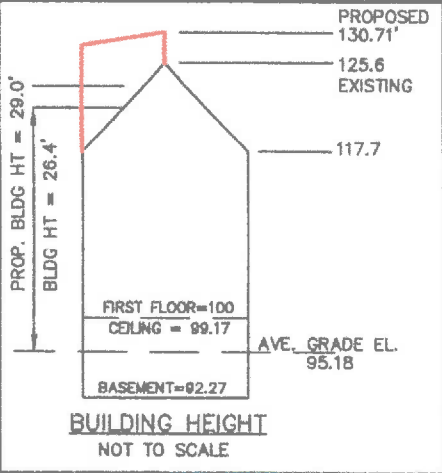
		REQUIRED	EXISTING	PROPOSED
Lot Area (sq. ft.)			5,689	5,689
Lot Frontage (feet)		55'	-	
Lot Area/Unit (sq. ft./d.u.)				
Lot Coverage (% of lot)		30%	31.8%	-
Open Space (% of lot)		40%	45.5%	-
Setbacks: (feet)	➤ Front	20'	15.8'	25.9'
	➤ Side/Side	10' 10'	5.9 15.5	5.9 15.8
	➤ Rear	20'	29.8'	44'
Building Height:	➤ Feet			
	➤ Stories			
1/2 Story (feet) (Per §1.4)	➤ Perimeter			
	➤ Area			
	➤ Length			

Per §6D of the Zoning By-Laws

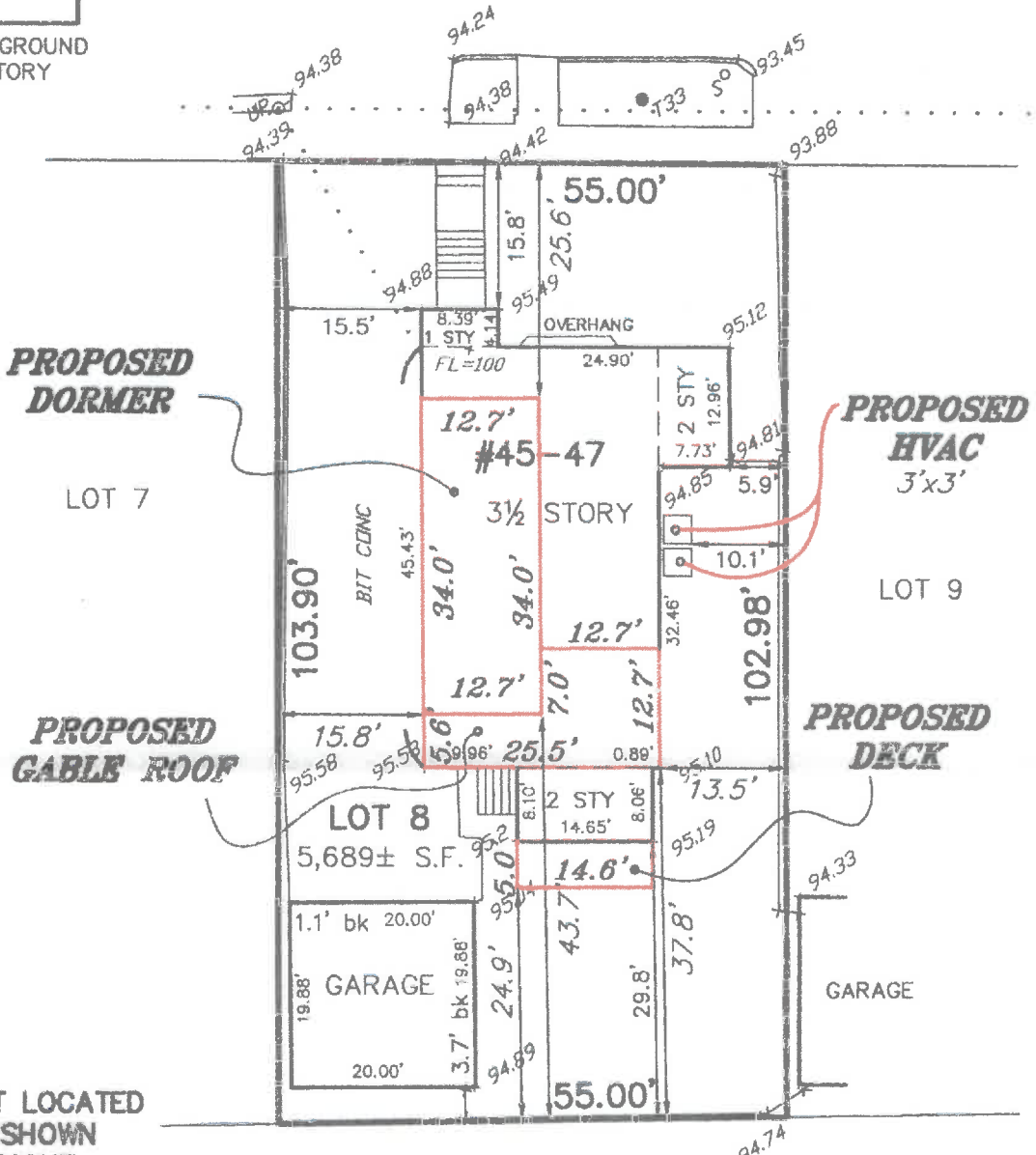
		REQUIRED	EXISTING	PROPOSED
Front Doors:	➤ Face Street			
	➤ Setback			
Curb Cut				
HVAC:	➤ Front Yard			
	➤ Side/Rear Setbacks			

SUBMIT CALCULATIONS for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated

CHANNING ROAD



41.0% OF BASEMENT UNDERGROUND
THEREFOR BASEMENT IS A STORY



THE PROPERTY IS NOT LOCATED
WITHIN WETLANDS AS SHOWN
ON THE TOWN OF BELMONT
WETLANDS ATLAS.

ZONING DISTRICT:	GR (GENERAL RESIDENCE)
FRONT SETBACK:	REQ. 20' EXISTING 15.8' PROP. 25.9'
SIDE SETBACK:	10' 5.9' 13.5'
REAR SETBACK:	20' 29.8' 24.9'
MAXIMUM LOT COVERAGE:	30% 31.8% 33.1%
MINIMUM OPEN SPACE:	40% 45.5% 44.2%
LOT FRONTAGE:	55.0'
TOTAL LOT AREA:	5,689± S.F.

PREPARED FOR: CRAIG GALLOWAY
ASSESSORS MAP 35 - PARCEL 22

PROPOSED PLOT PLAN
#45-47 CHANNING ROAD
IN
BELMONT, MA
(MIDDLESEX COUNTY)

SCALE: 1" = 20' DATE: 5/11/2017



ROBER SURVEY
1072 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
DWG. NO. 5183PP2.DWG



Clifford E. Rober 5/11/2017
CLIFFORD E. ROBER, PLS DATE

KEY

	EXISTING GRASS
	EXISTING MULCH
	NEW HARDWOOD DECK
	EXISTING CONCRETE
	EXISTING ASPHALT
	EXISTING BRICK
	EXISTING RETAINING WALL
	ROOF

HILL, TREES, AND TRAIN TRACK

10' CONCRETE GARAGE

6' TALL WOOD FENCE

EXISTING BRICK PATIO

ELEVATED DECK

EXISTING PERENNIAL GARDEN

EXISTING 8' RHODADENDRON

10' CONCRETE GARAGE

6' TALL WOOD FENCE

EXISTING 6' RHODADENDRON

NEW AC PADS AND SCREENING

EXISTING PLANTING BEDS

LANDSCAPING INTENT:
REPLACE ANY DAMAGED LANDSCAPING MATERIAL WITH CLOSEST EQUIVALENT
AVAILABLE SIZE AND SPECIES

1 LANDSCAPE PLAN
SCALE: 3/32" = 1'

80' OAK

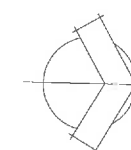
EXISTING 6' RHODADENDRON

EXISTING 5' BOXWOOD EVERGREENS

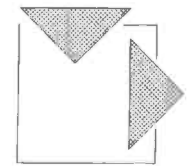
EXISTING 5' BOXWOOD EVERGREENS

EXISTING 5' MOUNTAIN LAUREL

CHANNING STREET



**MILLER
DESIGN LLC**

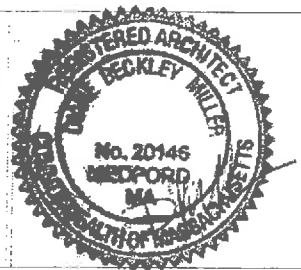


52 STATLER ROAD
BELMONT, MA 02478
TEL: 617.993.3157

Architect:
Miller Design LLC
52 Statler Road
Belmont MA 02478
617-993-3157

Date: Issued for:

05/28/18 PLANNING REVIEW



GALLOWAY RESIDENCE
45-47 CHANNING ROAD
BELMONT MA

LANDSCAPE PLANS

Sheet
Number:

L1

GENERAL NOTES:

1. COORDINATE AND BE RESPONSIBLE FOR THE PROTECTION OF PERSONS AND PROPERTY FOR THE DURATION OF CONSTRUCTION AS REQUIRED BY AGENCIES AND AUTHORITIES HAVING JURISDICTION.
2. DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN.
3. DO NOT INTERRUPT UTILITIES WITHOUT THE WRITTEN PERMISSION OF THE OWNER.
4. REMOVE SALVAGE AND DEBRIS FROM THE SITE AS IT ACCUMULATES. DO NOT STORE, SELL, BURN OR OTHERWISE DISPOSE OF THE DEBRIS ON THE SITE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
5. SORT DEBRIS FOR RECYCLING TO THE EXTENT POSSIBLE. REMOVE OR ARRANGE FOR THE TRANSPORT OF SORTED MATERIALS SCHEDULED TO BE RECYCLED TO APPROPRIATE OFF-SITE FACILITIES EQUIPPED FOR THE RECYCLING OF SPECIFIC MATERIALS. PROVIDE CONTAINERIZED DUMPSTERS FOR THE SORTING OF DEMO WASTES.
6. CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARILY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.
7. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE OF GWB UNLESS SPECIFICALLY NOTED OTHERWISE. DO NOT SCALE DRAWINGS.
8. CONTRACTOR TO COORDINATE THE LOCATION OF ELECTRICAL OUTLETS TO MEET CODE. CONTRACTOR TO UPGRADE ELECTRICAL PANEL AS NEEDED TO ACCOMMODATE NEW ADDITION.
9. PAINT AND/OR STAIN ALL EXTERIOR SIDING, DOORS, WINDOWS, AND TRIM AND INTERIOR SURFACES PER OWNERS DIRECTION.
10. ALL PLUMBING AND LIGHTING FIXTURES TO BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.
11. CONTRACTOR TO INSTALL AND COORDINATE ALL HVAC EXTENSIONS AND RENOVATIONS INTO NEW SPACE AS REQUIRED.
12. ALL HVAC, PLUMBING, ELECTRICAL, AND FIRE PROTECTION TO BE DESIGN BUILD PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY FIRE INSPECTOR.

GENERAL CONDITIONS

1. G. C. MUST BUILD EXACTLY WHAT IS SHOWN ON FRAMING PLANS. ANY PROPOSED DEPARTURES FROM WHAT IS INDICATED MUST BE REVIEWED WITH THE ARCHITECT PRIOR TO CONSTRUCTION. ALL UNAUTHORIZED CHANGES TO THE APPROVED DRAWINGS MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
2. DESIGN IS DERIVED FROM ASSUMED FIELD CONDITIONS. ANY DISCREPANCIES BETWEEN WHAT IS SHOWN ON OUR DOCUMENTS AND WHAT IS FOUND IN THE FIELD MAY CHANGE THE STRUCTURAL DESIGN, AND MUST IMMEDIATELY BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO ANY CONSTRUCTION.
3. THE CONTRACTOR SHALL CAREFULLY VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN DOCUMENTS.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF TEMPORARY SHORING, BRACING, OR OTHERWISE PROTECTING ANY PORTION OF THE STRUCTURE, SITE AND UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE ARCHITECT IS SPECIFYING THE FINISHED CONDITION ONLY, WITHOUT ASSUMING KNOWLEDGE NOR RESPONSIBILITY FOR HOW THE CONTRACTOR WILL ACHIEVE THIS RESULT.
5. FOR EXACT LOCATIONS OF FLOOR AND ROOF OPENINGS, POSTS, ETC., SEE ARCHITECTURAL DRAWINGS.

INSULATION:

CONTRACTOR TO SPRAY APPLY ICYNENE INSULATION FORMULA, APPLIED TO A THICKNESS ADEQUATE TO ACHIEVE SPECIFIED R VALUES. ALL FOUNDATION SILL PLATES AND FLOOR / WALL JUNCTION PLATES TO BE CAULKED TO AVOID AIR LEAKAGE. ALL ROUGH OPENINGS FOR EXTERIOR DOORS AND WINDOWS TO BE SIZED TO FURNISH A MINIMUM 1/2" SPACE AROUND THE PERIMETER OF FRAME TO PERMIT INSTALLATION OF FOAM INSULATION. ALL JOINTS BETWEEN EXTERIOR FRAMING MEMBERS TO BE CAULKED TO AVOID AIR LEAKAGE. CEILING VAPOR BARRIER TO BE CAULKED AND STAPLED TO THE TOP PLATES OF INTERIOR PARTITIONS AND TO THE LOWER TOP PLATES OF EXTERIOR WALLS. ROOF ASSEMBLY TO BE NON-VENTED (NO SOFFIT OR RIDGE VENTS) PER MFGR SPECS FOR ICYNENE INSULATION SYSTEM. BUILDING TO BE MECHANICALLY VENTED. ALL VERTICAL WIRING FOR ELECTRIC, CABLE, TELEPHONE, SECURITY, ETC. SHALL BE SECURED TO THE INSIDE OF STUDS EVERY 3'-0" AND 1 1/2" FROM THE GWB SURFACE FOR ALL RUNS. CEILING OUTLETS SHALL BE INSTALLED USING VAPOR BARRIER PANS/ BOXES WHICH ARE CAULKED WITH ACOUSTICAL CAULKING MATERIAL PRIOR TO THE INSTALLATION OF THE ATTIC INSULATION.



ADDITION LOCATION

**PLANNING BOARD
SUBMISSION
AUGUST 08, 2017**

NEW 1/2 STORY DORMER ADDITION

DRAWING LIST

- A1 COVER SHEET
- A2 EXISTING PLANS / AREA DIMENSIONS
- A3 EXISTING FIRST /SECOND FLOOR PLANS
- A4 EXISTING ROOF & ATTIC PLANS
- A5 EXISTING ELEVATIONS
- A6 EXISTING ELEVATIONS
- A7 NEW 2ND FLOOR LAYOUT PLANS
- A8 NEW HALF STORY LAYOUT PLANS
- A9 NEW ROOF PLAN / SECTION
- A10 NEW LAYOUT ELEVATIONS
- A11 NEW LAYOUT ELEVATIONS

SYMBOL LEGEND

- WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW WALL
- SECTION
- DOOR TAG
- WINDOW TAG
- RECESSED CAN LIGHT AS SELECTED BY OWNER
- WALL MOUNTED SCONCES AS SELECTED BY OWNER
- CEILING MOUNTED LIGHT AS SELECTED BY OWNER

PROJECT INFORMATION: PER ZONING AMENDMENTS DATED 11/26/2012
BELMONT ZONING DISTRICT GR:

FRONT YARD SETBACK: 20'-0" (CHANNING STREET UNCHANGED) - 15.8'
REAR YARD SETBACK: 20'-0" (UNCHANGED) - 29.8'
SIDE YARD SETBACK: 10'-0" (UNCHANGED) - 15.5/13.63 (SURVEY)
FRONTAGE: 50'-0" (EXISTING 55'-0" COMPLIES)
LOT AREA: 5000SQFT (UNCHANGED) 5689SQFT EXISTING
MAX HEIGHT: 33'2.5 STORIES (32'-11" PROPOSED CONFORMING)

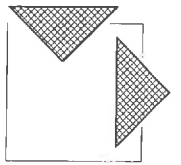
ENERGY AUDIT:

COMPLIANCE DETERMINED BY MASSACHUSETTS STRETCH ENERGY CODE (IECC 2009 W/ MASSACHUSETTS AMENDMENTS 780 CMR 115.11).

PRESCRIPTIVE OPTION FOR RESIDENTIAL ADDITION (401.3):

1. RENOVATION TO COMPLY WITH ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION CHECKLIST. INSULATION VALUES AS FOLLOWS: R38 ROOF R-VALUE, R20 WALL R-VALUE, R30 FLOOR R-VALUE, R10 CRAWL SPACE WALL R-VALUE.
2. RENOVATION TO COMPLY WITH ENERGY STAR PROGRAM REQUIREMENTS FOR RESIDENTIAL WINDOWS, DOORS, AND SKYLIGHTS - VERSION 5.0. ALL NEW WINDOW GLAZING W/ .30 U FACTOR.
3. HEATING / COOLING DUCTS TO BE SEALED AND TESTED TO MEET REQUIREMENTS OF 401.3.

**MILLER
DESIGN LLC**



52 STATLER ROAD
BELMONT, MA 02478
TEL 617.993.3157

Architect:
Miller Design LLC
52 Statler Road
Belmont MA 02478
617-993-3157

Date: Issued for:

05/08/17 SCHEMATIC DESIGN
05/26/17 PLANNING REVIEW
08/08/17 REV 1



GALLOWAY RESIDENCE
45-47 CHANNING ROAD
BELMONT MA

COVER SHEET

Sheet
Number:

A1

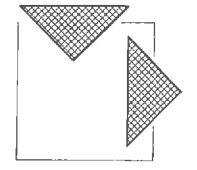
HALF STORY/DORMER CALCULATION	
SECOND FLOOR	1370 SQFT
HALF STORY OVER 5'-0"	813 SQFT
1408SQFT X 60% = 845SQFT MAX THEREFOR COMPLIES.	
PERIMETER DORMER CALCULATION	
SECOND FLOOR	174'-1"
AREA WITH RAFTERS AT 3' OF GREATER	78'-3"
ALLOWABLE LENGTH OF WALLS WITH RAFTER BOTTOMS AT 3'-0" OR GREATER = 174'-1" X 50% = 87' MAXIMUM > 78'-3" ACTUAL	
DORMER LENGTH CALCULATION	
EXISTING ROOF LINE	45'-5"
NEW DORMER	34'-0 1/2"
ALLOWABLE LENGTH OF DORMER = 45'-6" X 75% = 34'-1" MAXIMUM	

GROSS AREA CALCUATIONS	
BASEMENT FLOOR AREA	1253 SQFT
FIRST FLOOR AREA	1405 SQFT
SECOND FLOOR AREA	1370 SQFT
THIRD FLOOR AREA (ABOVE 5'-0")	96 SQFT
ADDITIONAL GROSS AREA (714SQFT - 96SQFT) =	717 SQFT
EXISTING GROSS AREA (MEASURED) 4,124 SQFT	
717 SQFT / 4,124 SQFT = 17% INCREASE (COMPLIES)	

HALF STORY NET AREA INCREASE	
3RD FLOOR NET AREA EXISTING	512 SQFT
3RD FLOOR PROPOSED NET AREA	813 SQFT
TOTAL ADDITIONAL NET AREA = 813SQFT - 512SQFT = 201SQFT	



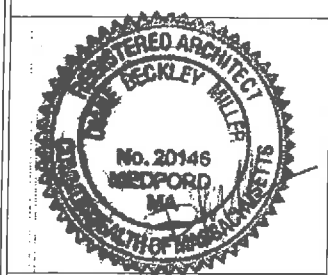
**MILLER
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08/11/17	REV 1



GALLOWAY RESIDENCE
45-47 CHANNING ROAD
BELMONT MA

FLOOR PLANS

Sheet
Number:

A2



2 SECOND FLOOR
SCALE: 1/8" = 1'



1 FIRST FLOOR
SCALE: 1/8" = 1'

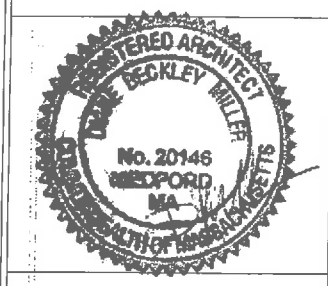


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05/08/17	SCHEMATIC DESIGN
05/26/17	PLANNING REVIEW

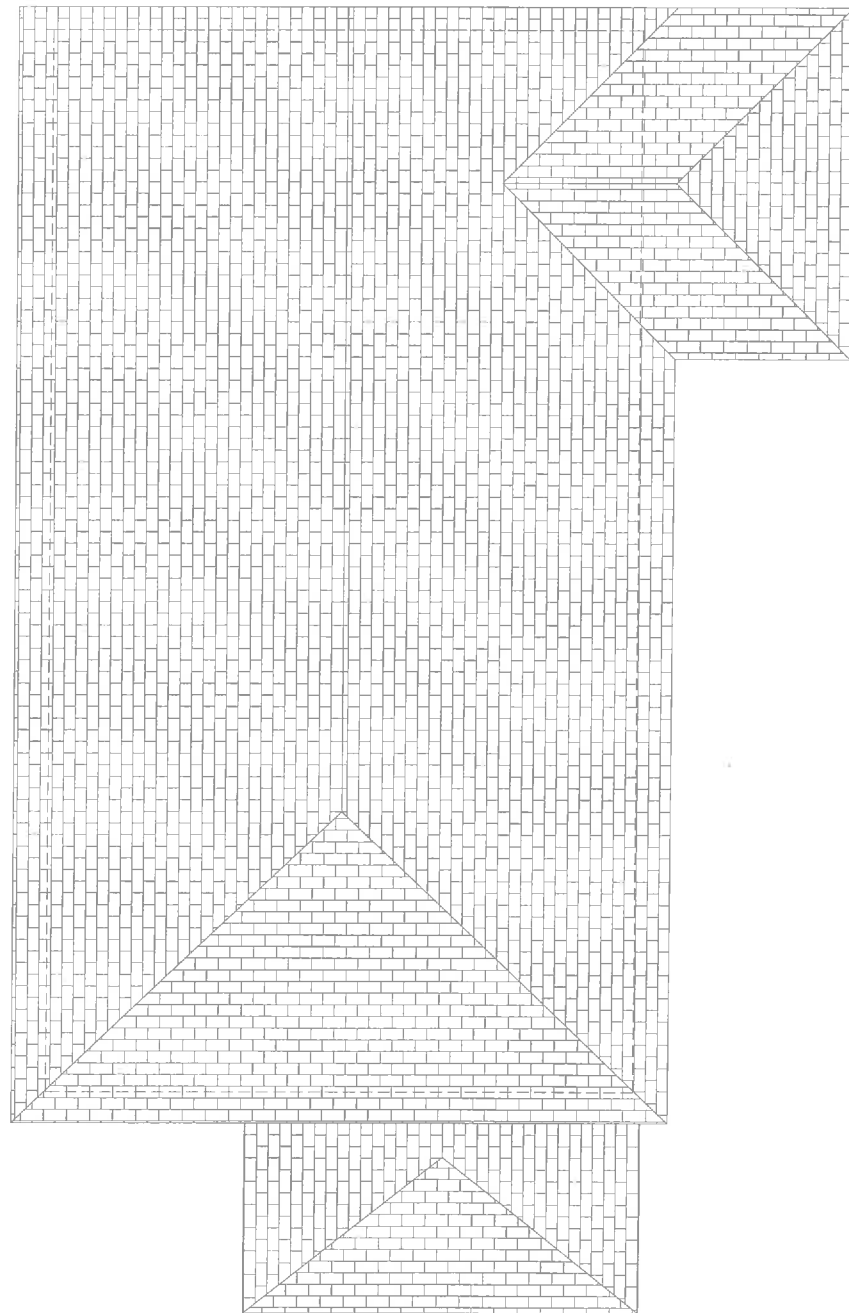


GALLOWAY RESIDENCE
45-47 CHANNING ROAD
BELMONT MA

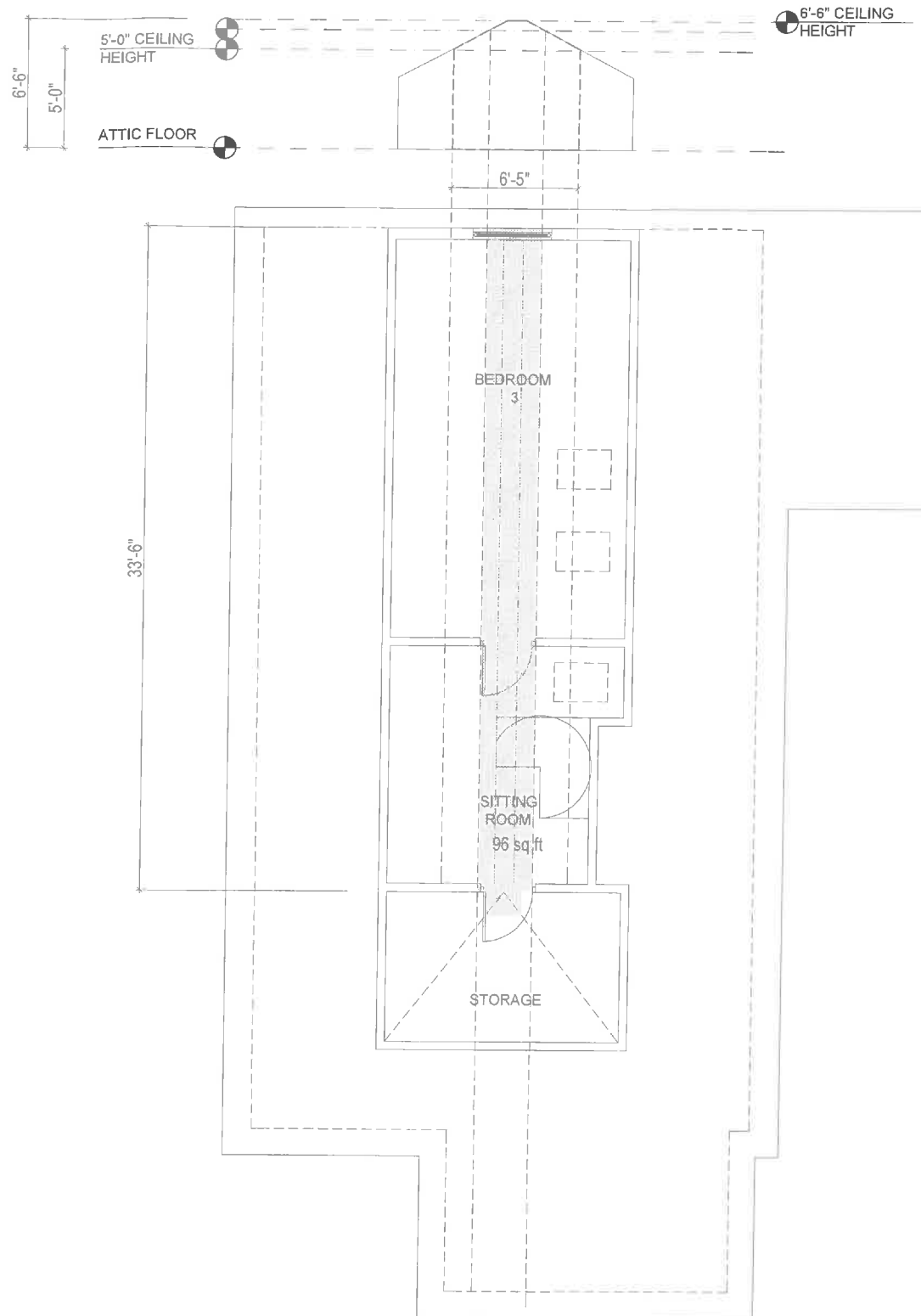
FLOOR PLANS

Sheet
Number:

A3



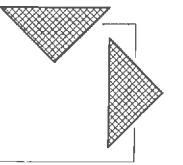
2 ROOF PLAN
SCALE: 1/8" = 1'



1 ATTIC FLOOR
SCALE: 1/8" = 1'



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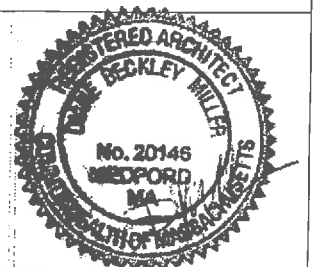


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FLOOR PLANS

Sheet
Number:

A4



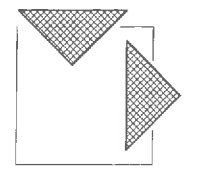
2 EAST ELEVATION
SCALE: 1/8" = 1'



1 WEST ELEVATION
SCALE: 1/8" = 1'



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EXISTING
ELEVATIONS

Sheet
Number:

A5



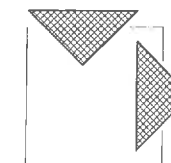
2 NORTH ELEVATION
SCALE: 1/8" = 1'



1 SOUTH ELEVATION
SCALE: 1/8" = 1'



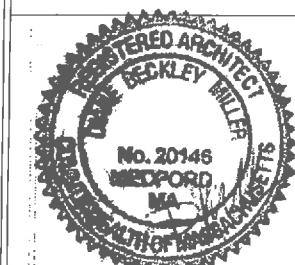
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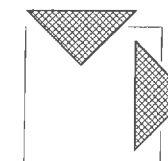
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EXISTING
ELEVATIONS

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Number:

A6

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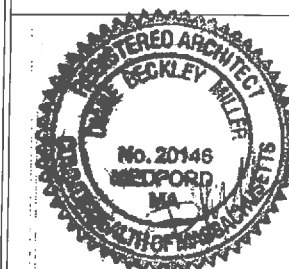
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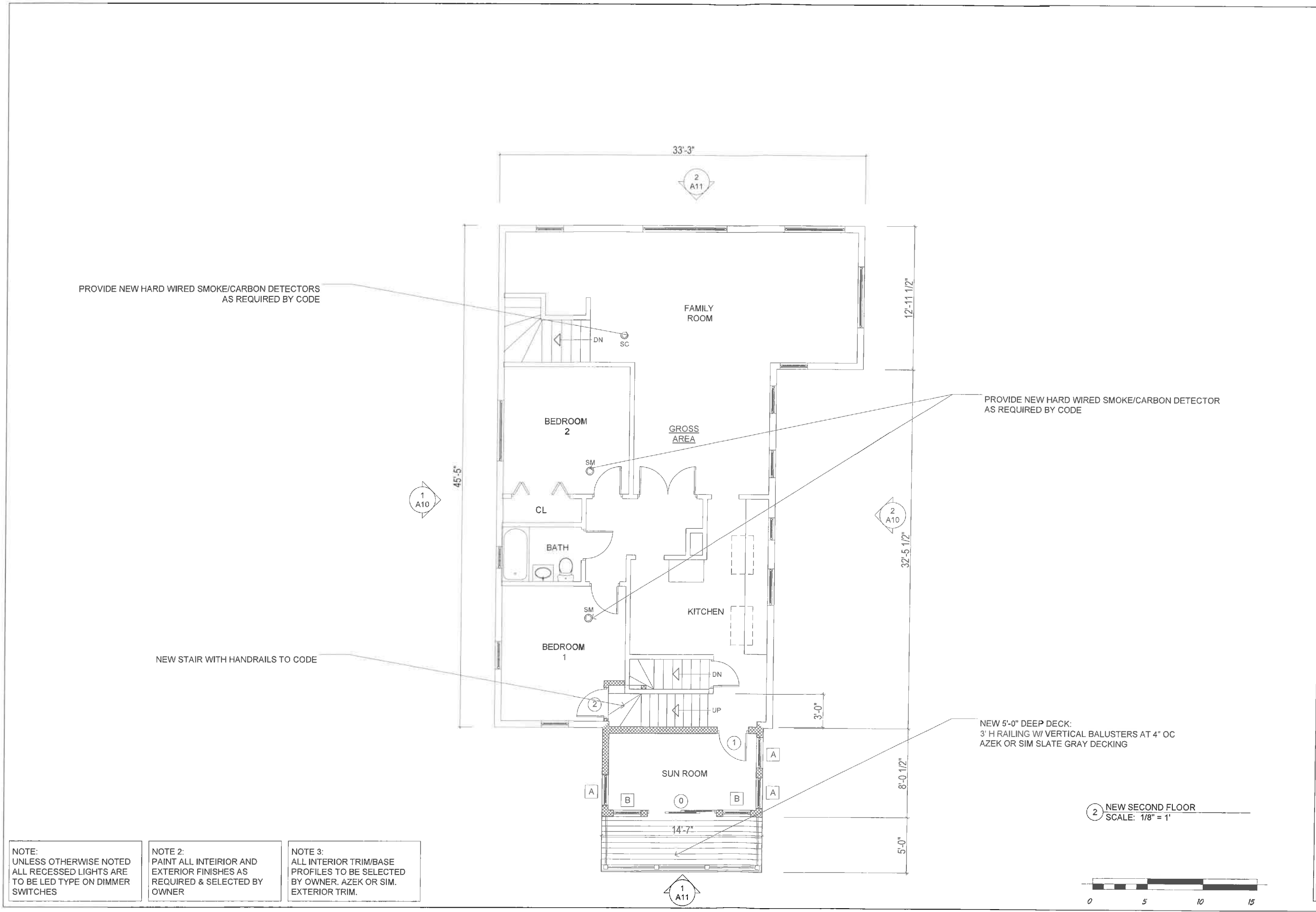


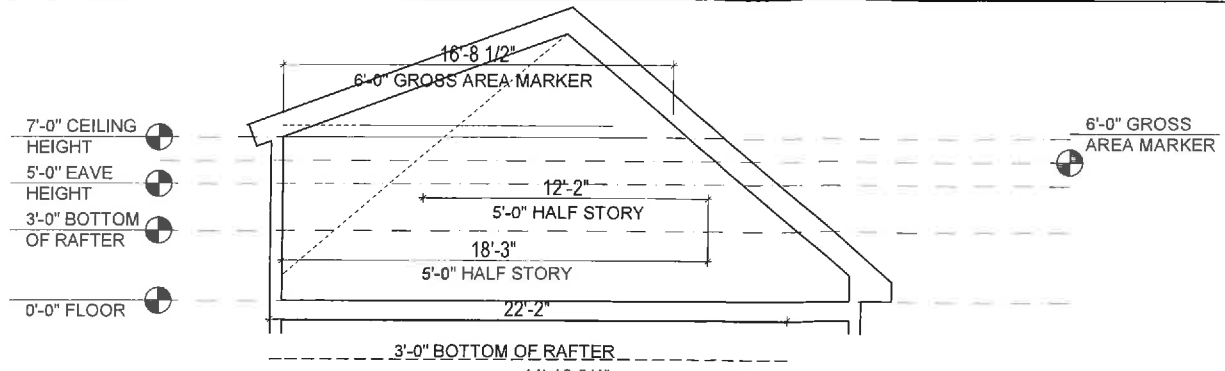
GALLOWAY RESIDENCE
45-47 CHANNING ROAD
BELMONT MA

FLOOR PLANS

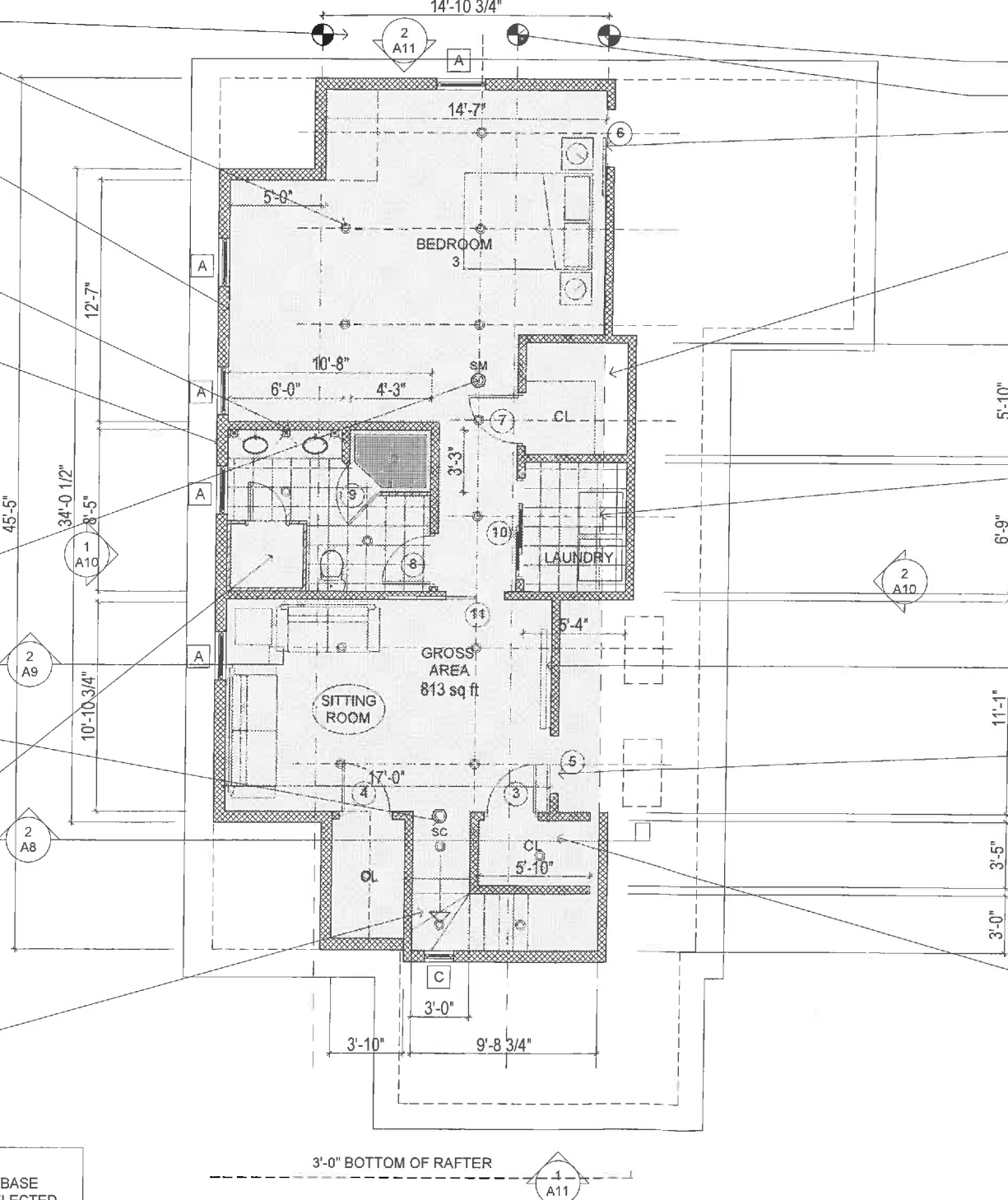
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Number:

A7





2 ATTIC SECTION
SCALE: 1/8" = 1'



1 ATTIC FLOOR
SCALE: 1/8" = 1'

NEW 5" LED LIGHTS ON NEW DIMMER SWITCHING AS SELECTED AND LOCATED BY OWNER (TYPICAL FOR (20) THIS FLOOR NOT INCLUDING CLOSETS)

PROVIDE POWER TO CODE - REFER TO OWNER FOR TV LOCATIONS (PROVIDE BLOCKING AS REQUIRED)

PROVIDE (3) NEW SCONCES OR PENDANTS ON DIMMERS AS SELECTED BY OWNER OVER VANITY

WALL ASSEMBLY:
SIDING TO MATCH EXISTING
#15 ASPHALT IMPREGNATED FELT PAPER
TAPED GREENBOARD SHEATHING
2X4 WOOD STUDS @ 16" O.C.
ICYNENE INSULATION
SPRAYED IN ALL CAVITIES (R20)
SEE GENERAL NOTES ON COVERSHEET
6 MIL. POLY VAPOR BARRIER
1/2" GWB ON INTERIOR

PROVIDE NEW HARD WIRED SMOKE DETECTORS AS REQUIRED BY CODE

PROVIDE NEW HARD WIRED SMOKE/CARBON DETECTORS AS REQUIRED BY CODE

BATHROOM:
TILE FLOOR (TO BE SELECTED BY OWNER)
6'-0" WIDE VANITY WITH MIRROR OR CABINETS ABOVE; TOILET TO BE SELECTED
FULL TILE IN SHOWER W/2 RECESSES IN NON EXTERIOR WALL
SAUNA AS SELECTED BY OWNER
MRGWB OR PLASTER CEILING;
TOWEL BARS / HOOKS AS SELECTED;
DITRA ELECTRIC FLOOR WARMING SYSTEM
LIGHTING AS SHOWN;
MECHANICAL VENT PER CODE

NEW STAIR WITH HANDRAILS TO CODE

LINE OF 5'-0" CEILING

LINE OF 7'-0" CEILING

PROVIDE MIN 3'-0" X 3'-0" ACCESS PANEL INOT ALL EAVE LOCATIONS (TYPICAL FOR (3))

PROVIDE MIN (3) NEW LEVELS OF SOLID ADJUSTABLE SHELVING WITH HANGING BAR AS DIRECTED BY OWNER

NEW LAUNDRY ROOM WITH TILE FLOOR AS SELECTED BY OWNER. ADD FLOOR DRAIN
NEW WATER, VENTING, AND POWER LOCATIONS TO BE FINALIZED WITH OWNER.
PROVIDE 1 SOLID 16" DEEP SHELF ON ADJUSTABLE BRACKETS ABOVE LAUNDRY

PROVIDE POWER TO CODE - REFER TO OWNER FOR TV LOCATIONS (PROVIDE BLOCKING AS REQUIRED)

PROVIDE MIN 3'-0" X 3'-0" ACCESS PANEL INOT ALL EAVE LOCATIONS (TYPICAL FOR (3))

PROVIDE 1 LEVEL OF SOLID SHELVING WITH HANGING BAR BELOW ON 1 HOOK ON BACK OF DOOR (TYPICAL FOR BEDROOM CLOSETS) LIGHTS IN "WALK IN" BEDROOM CLOSETS ONLY

NOTE:
UNLESS OTHERWISE NOTED
ALL RECESSED LIGHTS ARE
TO BE LED TYPE ON DIMMER
SWITCHES

NOTE 2:
PAINT ALL INTERIOR AND
EXTERIOR FINISHES AS
REQUIRED & SELECTED BY
OWNER

NOTE 3:
ALL INTERIOR TRIM/BASE
PROFILES TO BE SELECTED
BY OWNER. AZEK OR SIM.
EXTERIOR TRIM.



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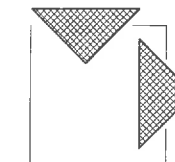
GALLOWAY RESIDENCE
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FLOOR PLANS

Sheet
Number:

A8

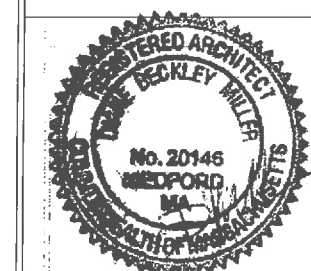
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GALLOWAY RESIDENCE
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ROOF PLAN
AND SECTION

Sheet
Number:

A9

ALL OVERHANG DISTANCES, TRIM,
FASCIA AND GUTTER DETAILS TO
BE RETAINED WHERE POSSIBLE OR
BUILT TO MATCH EXISTING

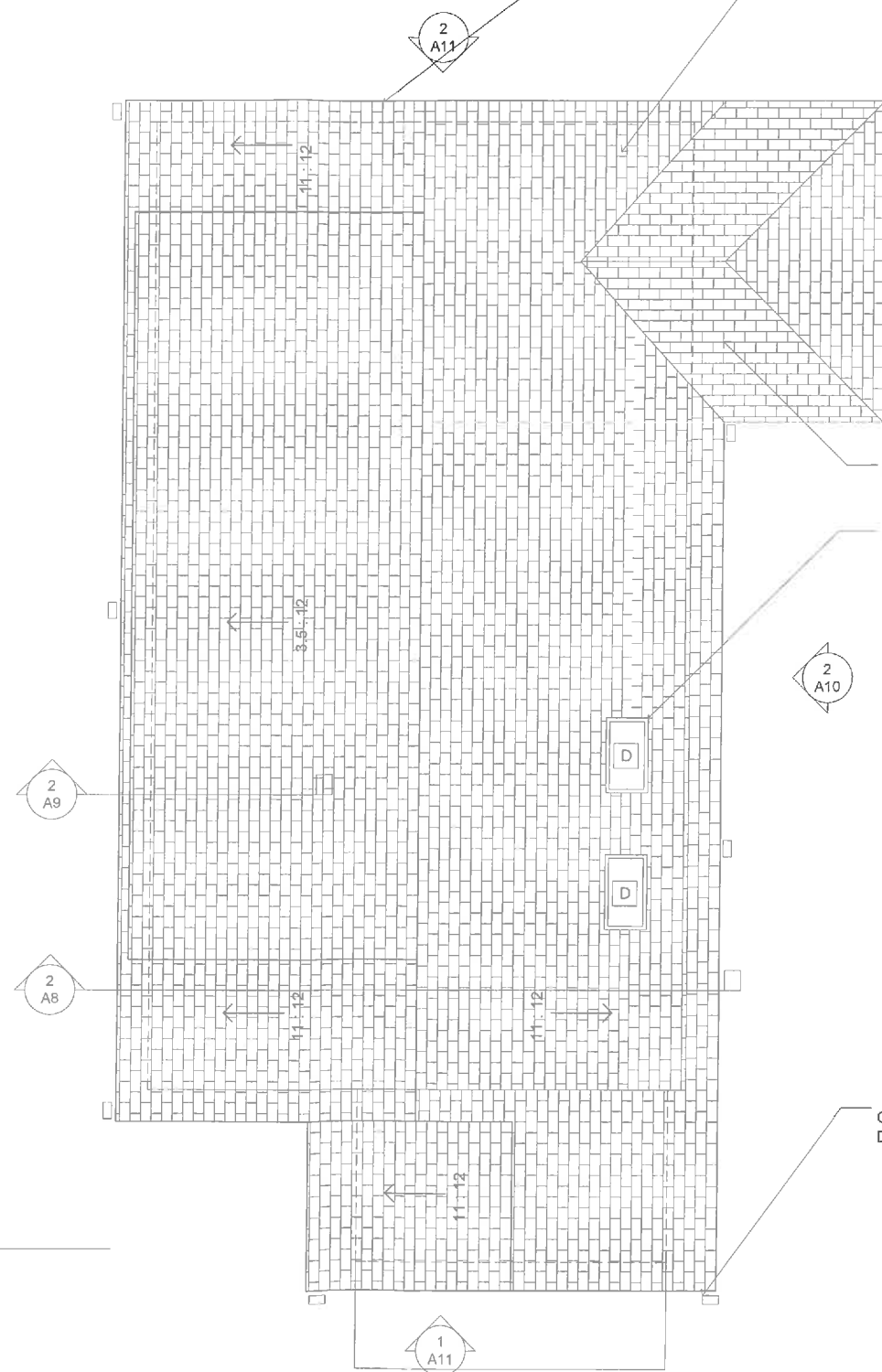
ROOF ASSEMBLY:
50 YEAR ARCHITECTURAL ASPHALT ROOF
SHINGLES TME TWO CONTINUOUS
ZINC STRIPS AT RIDGE (ONE ON EA. SIDE)
BITUTHENE ICE AND WATER BARRIER
5/8" ZIP SYSTEM SHEATHING PANELS
W/ TAPE AT ALL SEAMS PER MFGR SPEC
SEE FRAMING PLAN FOR STRUCTURE
MIN R-49 ICYNENE INSULATION

ROOF ASSEMBLY:
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SEE FRAMING PLAN FOR STRUCTURE
MIN R-49 ICYNENE INSULATION

REPLACE EXISTIGN SHINGLES

NEW SKYLIGHTS

GUTTERS WITH LEAF GUARD AND
DOWNSPOUTS TME



BLOCKING

GUTTERS WITH LEAF GUARD AND
DOWNSPOUTS TME

RING JOIST, EPDM MEMBRANE WRAPS CORNER,
METAL DRIP EDGE TERMINATION BAR-
CAULKED AND SCREWED TO BLOCKING,
GUTTERS AND SOFFIT DETAILS TO MATCH EXISTING

WALL ASSEMBLY:
SIDING TO MATCH EXISTING
#15 ASPHALT IMPREGNATED FELT PAPER
TAPED GREENBOARD SHEATHING
2X4 WOOD STUDS @ 16" O.C.
ICYNENE INSULATION
SPRAYED IN ALL CAVITIES (R20)
SEE GENERAL NOTES ON COVERSHEET
6 MIL. POLY VAPOR BARRIER
1/2" GWB ON INTERIOR

SECOND FLOOR / CEILING ASSEMBLY:
FINISH FLOOR: TO BE SELECTED BY OWNER
TILE FLOOR: SELECTED BY OWNER (THINSET & GROUT)
CEMENT BOARD
WOOD FLOOR: 3/4" TONGUE & GROOVE SUBFLOOR
WOOD FLOOR AND FINISH TO BE SELECTED BY OWNER
SEE FRAMING DRAWINGS FOR
FLOOR JOISTS AND BRIDGING
REVIEW OPTION FOR STC 20 SOUND BLANKET
GWB CEILING W/STRAPPING

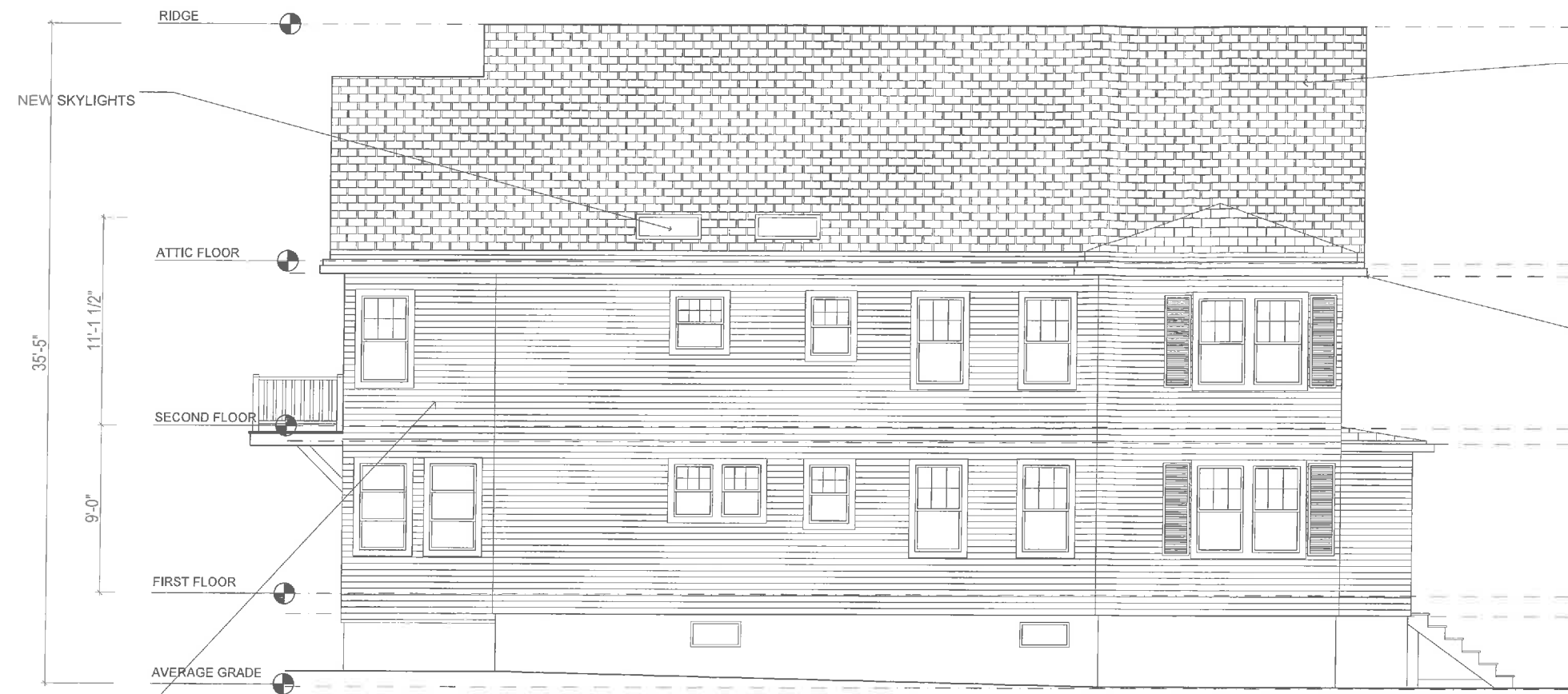
EXISTING CEILING TO ALIGN WITH
EXISTING HOUSE FIRST FLOOR CEILING
PROVIDE STC 20 SOUND INSULATION

EXISTING FIRST FLOOR ASSEMBLY
VERIFY OR PROVIDE 2X10 HEADERS WITH
MIN (2)2X4 POSTS DOWN OVER EXISTING
WINDOWS AND DOORS

2 SECTION
SCALE: 1/4" = 1'

1 ROOF PLAN
SCALE: 1/8" = 1'





ROOF ASSEMBLY:
 50 YEAR ARCHITECTURAL ASPHALT ROOF SHINGLES TME TWO CONTINUOUS ZINC STRIPS AT RIDGE (ONE ON EA. SIDE) BITUTHENE ICE AND WATER BARRIER 5/8" ZIP SYSTEM SHEATHING PANELS W/ TAPE AT ALL SEAMS PER MFGR SPEC SEE FRAMING PLAN FOR STRUCTURE MIN R-49 ICYNENE INSULATION

ALL OVERHANG DISTANCES, TRIM, FASCIA AND GUTTER DETAILS TO BE RETAINED WHERE POSSIBLE OR BUILT TO MATCH EXISTING

WALL ASSEMBLY:
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GUTTERS WITH LEAF GUARD AND DOWNSPOUTS TME

NEW 3'-0" HIGH WOOD (MAHOGONY OR ALTERNATE SELECTED BY OWNER) POSTS TOP AND BOTTOM RAILS. MAHOGONY WOOD CAP OR ALTERNATE SELECTED BY OWNER PICKETS TO BE SPACED 3" O.C.

1" X 8" HARDIE TRIM BOARDS WITH MITERED CONNECTIONS FOR DECK SCREENING AS SHOWN. LATTICE TO BE SELECTED BY OWNER

1 WEST ELEVATION OPTION "B"
 SCALE: 1/8" = 1'



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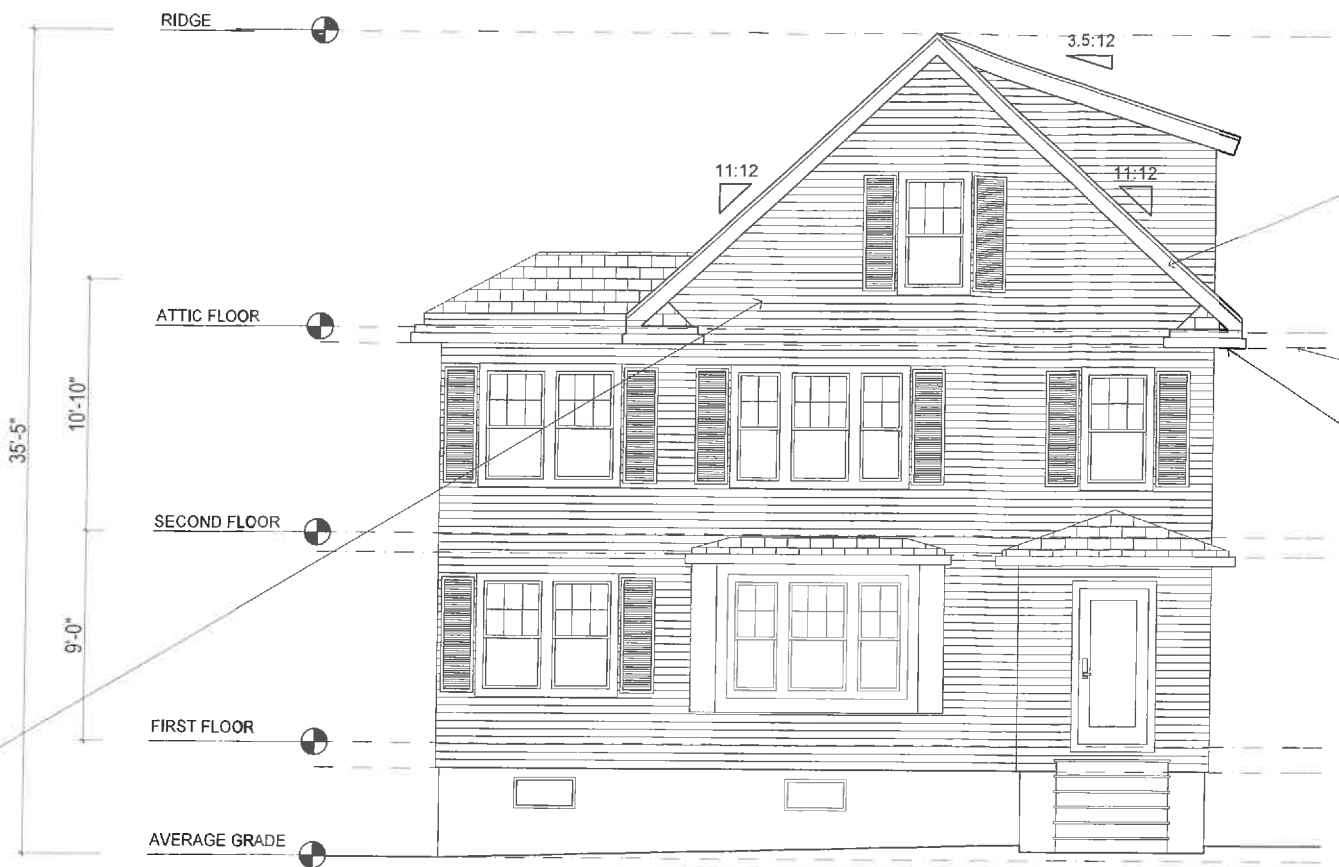


GALLOWAY RESIDENCE
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NEW ELEVATIONS

Sheet Number:

A10



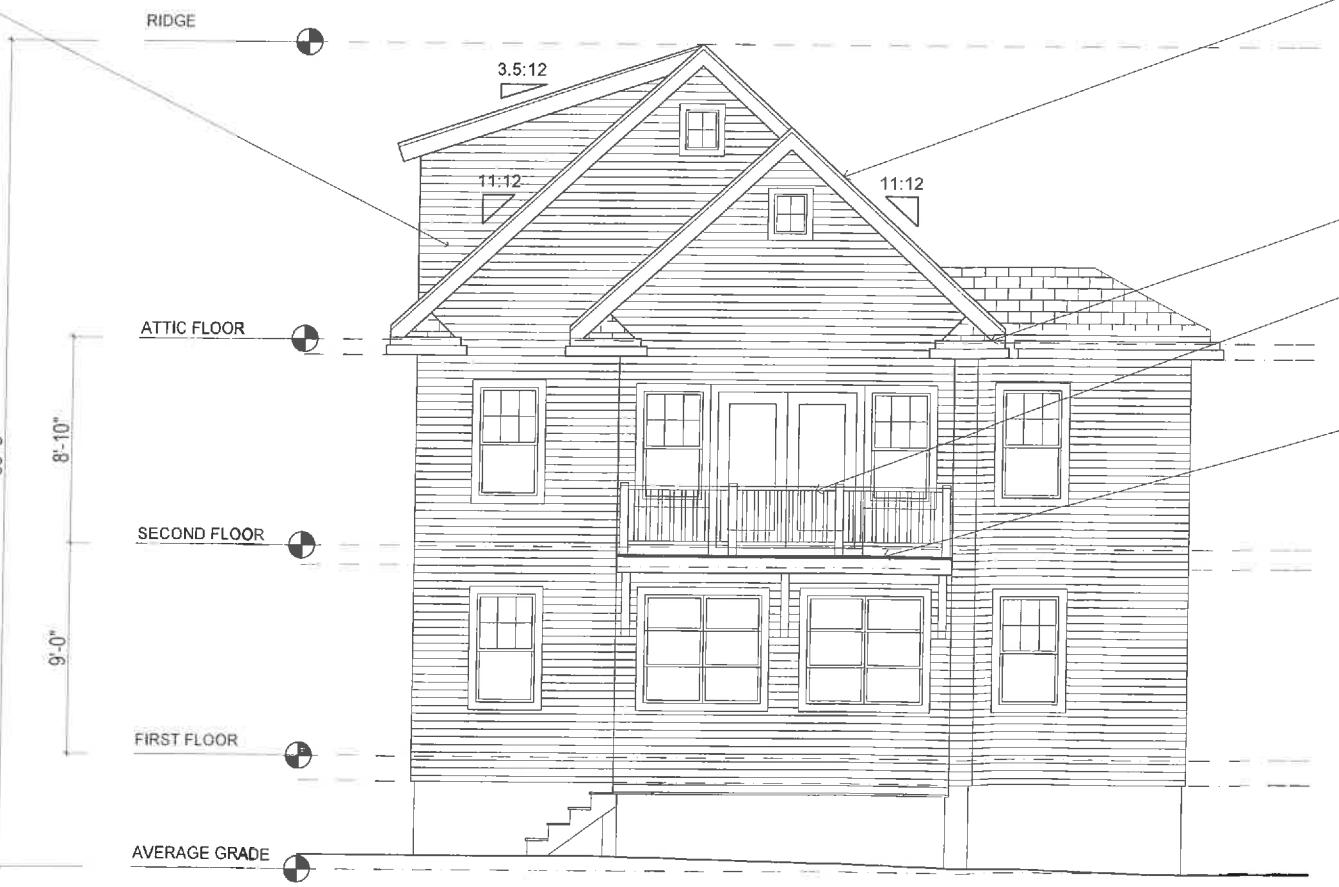
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 5/8" ZIP SYSTEM SHEATHING PANELS
 W/ TAPE AT ALL SEAMS PER MFGR SPEC
 SEE FRAMING PLAN FOR STRUCTURE
 MIN R-49 ICYNENE INSULATION

ALL OVERHANG DISTANCES, TRIM,
 FASCIA AND GUTTER DETAILS TO
 BE RETAINED WHERE POSSIBLE OR
 BUILT TO MATCH EXISTING

GUTTERS WITH LEAF GUARD AND
 DOWNSPOUTS TME

2 NORTH ELEVATION
 SCALE: 1/8" = 1'

WALL ASSEMBLY:
 SIDING TO MATCH EXISTING
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 TAPED GREENBOARD SHEATHING
 2X4 WOOD STUDS @ 16" O.C.
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 1/2" GWB ON INTERIOR



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 SHINGLES TME TWO CONTINUOUS
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GUTTERS WITH LEAF GUARD AND
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 MAHOGONY WOOD CAP OR ALTERNATE
 SELECTED BY OWNER
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 TO BE SELECTED BY OWNER

1 SOUTH ELEVATION
 SCALE: 1/8" = 1'

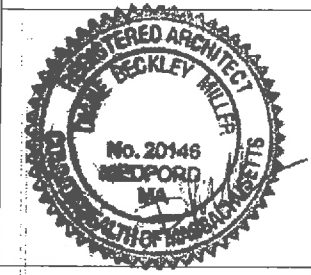


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**NEW
 ELEVATIONS**

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