

RECEIVED
TOWN CLERK
BELMONT, MA

2018 AUG 31 AM 9:17

NOTICE OF PUBLIC HEARING BY THE
PLANNING BOARD

ON APPLICATION FOR A SPECIAL PERMIT

Notice is hereby given that the Belmont Planning Board will hold a public hearing on TUESDAY, SEPTEMBER 18, 2018, at 7:00 PM in the Art Gallery, Homer Municipal Building, 19 Moore Street, to consider the application of **JOHN and CAROL BARERA** for A SPECIAL PERMIT under Section 4.2.1 of the Zoning By-Law (minimum lot size required: 9,000 sf, lot size existing and proposed: 7,524 sf) IN ORDER TO CONSTRUCT A SINGLE-FAMILY HOME at **136 BLANCHARD ROAD** located in the Single Residence C Zoning District.

Planning Board

Application Submission Requirements

136 Blanchard Road, Belmont MA, 02478

1. The Building Permit Denial Letter
2. The Special Permit Application
3. A narrative statement
4. Existing Elevations with pictures and Proposed Elevations & Interior layout plans
5. Landscape Plan
6. Certified Plot Plan
7. Zoning Compliance Check List
8. Additional Materials
 - Neighborhood Letters
 - Pictures of Neighboring Buildings & Homes



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT

19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

May 21, 2018

Ms. Carol Barera
71 Livermore Road
Belmont, MA 02472

RE: Denial to Construct Single-Family Home at 136 Blanchard Road

Dear Ms. Barera:

The Office of Community Development is in receipt of your building permit application for the construction of single-family home located in a Single Residence C (SR-C) Zoning District.

Your application has been denied since it does not comply with the Zoning By-law. More specifically, your property is considered nonconforming since Section 4.2.1 of the By-Law requires a minimum lot size of 9,000 square feet and the existing and proposed lot size are 7,524 square feet. As a result, Section 1.5.4 B (3) requires a Special Permit in order to construct the single-family home.

You may alter your plans to conform to the Zoning By-Law and resubmit for a building permit or you may request a Special Permit from the Planning Board. If you choose this option, please call the Office of Community Development at (617)-993-2666 to schedule an appointment with a member of the Planning Staff in order to begin this process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings

RECEIVED
TOWN CLERK
BELMONT, MA

COMMUNITY
DEVELOPMENT



2018 SEP 10 PM 3:50 Town of Belmont
Planning Board

2018 SEP 10 PM 2:52

APPLICATION FOR A SPECIAL PERMIT

Date: 8/22/18

Planning Board
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 136 Blanchard Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for the demolition of the existing house and the construction of a new modest home that will complement the neighborhood.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner	<u>John Barera</u>	<u>Carol Barera</u>
Print Name	<u>John Barera</u>	<u>Carol Barera</u>
Address	<u>71 Livermore</u>	<u>Rd Belm.</u>
Daytime Telephone Number	<u>wk 781-981-2912</u>	
	<u>hm 617-484-1848</u>	<u>same</u>
	<u>cell 617-581-3073</u>	<u>cell 617-947-0197</u>

Office of Community Development Special Permit Application
Item #3 Statement (What and Why) A copy of this letter was distributed to abutters within
required 500' radius per Spencer@ Office of Community Development

In 1981, the Barera Family moved to Belmont in the hopes of making the community our new home. We rented our first apartment on Townsend Rd in the Payson Park Neighborhood. We were thrilled when only two years later, we had the opportunity to purchase 136 Blanchard Rd/Mannix Circle from Joe Mannix, the town's long time resident & electrical inspector. His elderly mother had passed away; he sold us her house, which was next door to his. Joe & his wife were wonderful neighbors and adopted our two young boys as their "next door" grandchildren. Time flew by at Blanchard Rd/Mannix Circle and the children went through the Belmont school system and off to college and on to adult life.

Now, as aging empty nesters, Belmont, particularly our spot (virtually at the corner of Blanchard Rd and Concord Ave) has all the things we need, such as public transportation, local shopping, access to Beech St Community Center, hospitals and medical facilities etc ... The only issue is our house.

Although, the cape was perfect for raising a family, it is not very well suited for our old age. The existing, four bedroom house is spread over three floors. This could prove to be difficult for us as we age. We want to have all of our living space on one floor with wide doorways and accessible bathrooms, particularly as either of us may need the use of a wheel chair in our elder years.

With all that in mind, the new house that we are proposing is well suited to the neighborhood and adheres to the spirit of the special permit criteria. The existing cape (nonconforming structure) would be replaced with a modest, ranch style home, which will be similar in style and scope to the existing ranch houses on the cul de sac (Mannix Circle). Several of the other houses on the cul de sac are significantly larger than the house that we are proposing, so our house will not be out of proportion with the other adjacent homes. In fact, we believe that the new house will blend in well and fits the character of the neighborhood while it's in our first floor living will accommodate the needs of older occupants.

The two bedroom, two bath ranch will be constructed by a well known, local builder (Arthur Ronayne and Sons of Arlington) with thoughtful planning, in consideration of neighbors, to preserving the existing atmosphere. Eg. Only minor changes are proposed with regard to specific placement of the existing landscape including trees, flowerbeds, driveway etc. ; scale and scope would remain the same.

Many of you know us as long time neighbors; others of you we look forward to meeting. Please do not hesitate to call us with any questions or concerns. We can be reached on our home phone # 617-484-1848 (which is also listed in the town book.)

Thank you, John & Carol Barera

Elevations of the Existing House

BARERA RESIDENCE

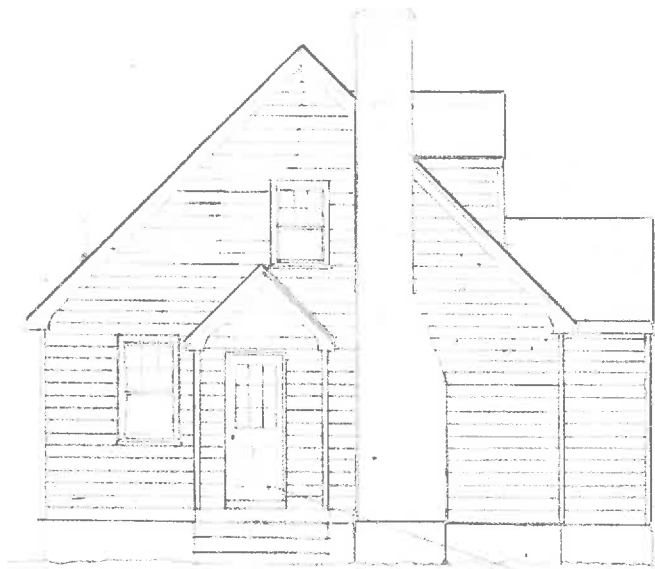
136 BLANCHARD ROAD
BELMONT, MA 02478

EXISTING RESIDENCE

PLOT PLAN (EXISTING)

ELEVATIONS

136 BLANCHARD RD
 BELMONT, MA
 EXISTING ELEVATIONS



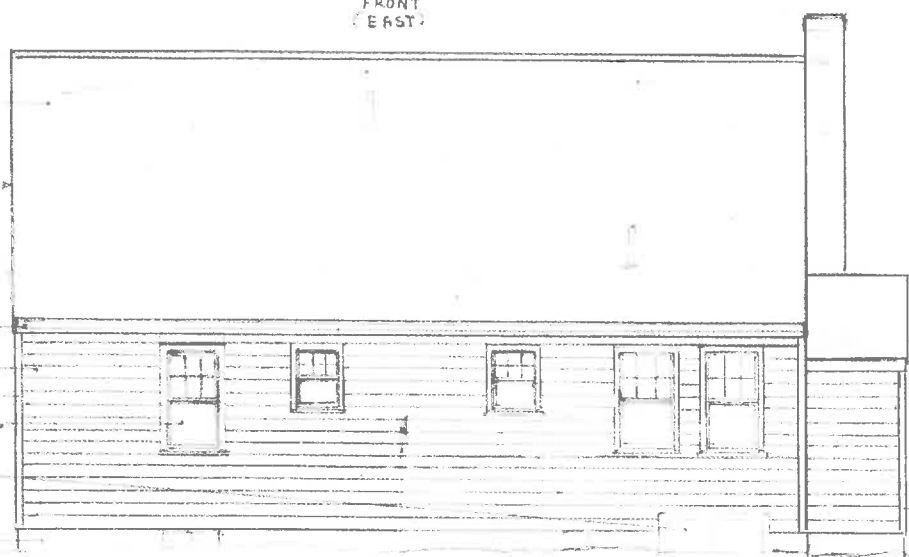
MANNIX CIRCLE SIDE
 (SOUTH)



BLANCHARD ROAD
 FRONT
 (EAST)



RIGHT SIDE
 (NORTH)



REAR
 (WEST)

- GABLE DORMERS
- FIREPLACE
- FRONT ENTRY
- WOODEN CELLAR WINDOWS
- BRICK STAIRS + LANDING
- 9 LIGHT STEEL DOOR
- ARCHITECTURAL ROOF SHINGLES
- PAINTED WOOD RAKES
- PAINTED WOOD OVERHANG
- ALUMINUM BUTTERS
- PAINTED 7/8" PINE WOOD SHINGLES
- PAINTED WOOD CORNER BOARDS
- VINYL REPLACEMENT WINDOWS
- BILCO BULKHEAD (MFR)
- STUCCOED CONCRETE BLOCK FOUNDATION

Elevations of the Existing House



Existing Mannix Circle Side of 136 Blanchard Road (South)



Existing Rear Elevation of 136 Blanchard Road (West)



Existing Front Elevation of 136 Blanchard Road (East)



Existing Right Elevation of 136 Blanchard Road (North)

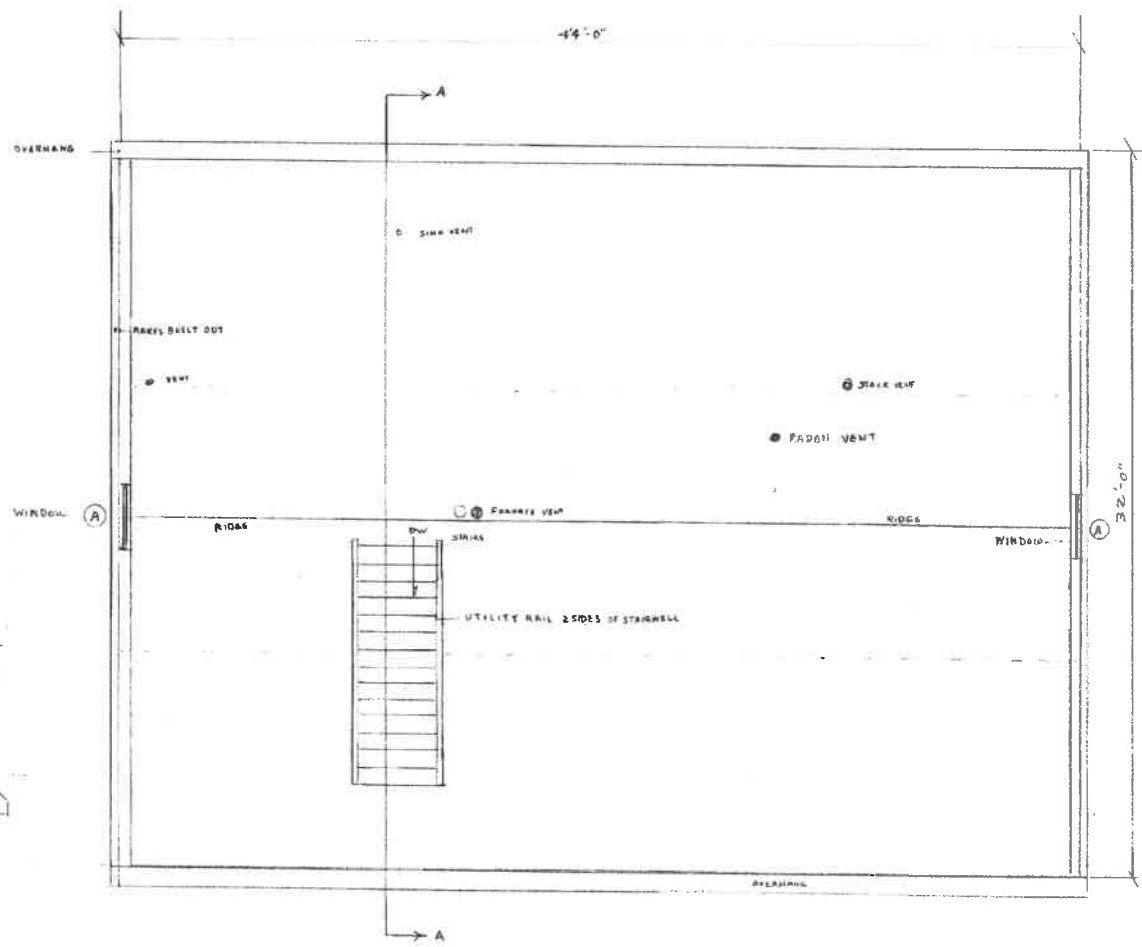
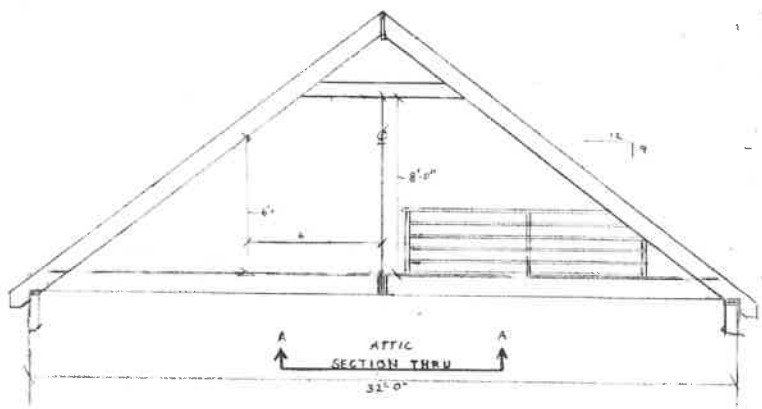
Proposed Elevations & Interior Layout Plans

BARERA RESIDENCE

136 BLANCHARD ROAD
BELMONT, MA 02478

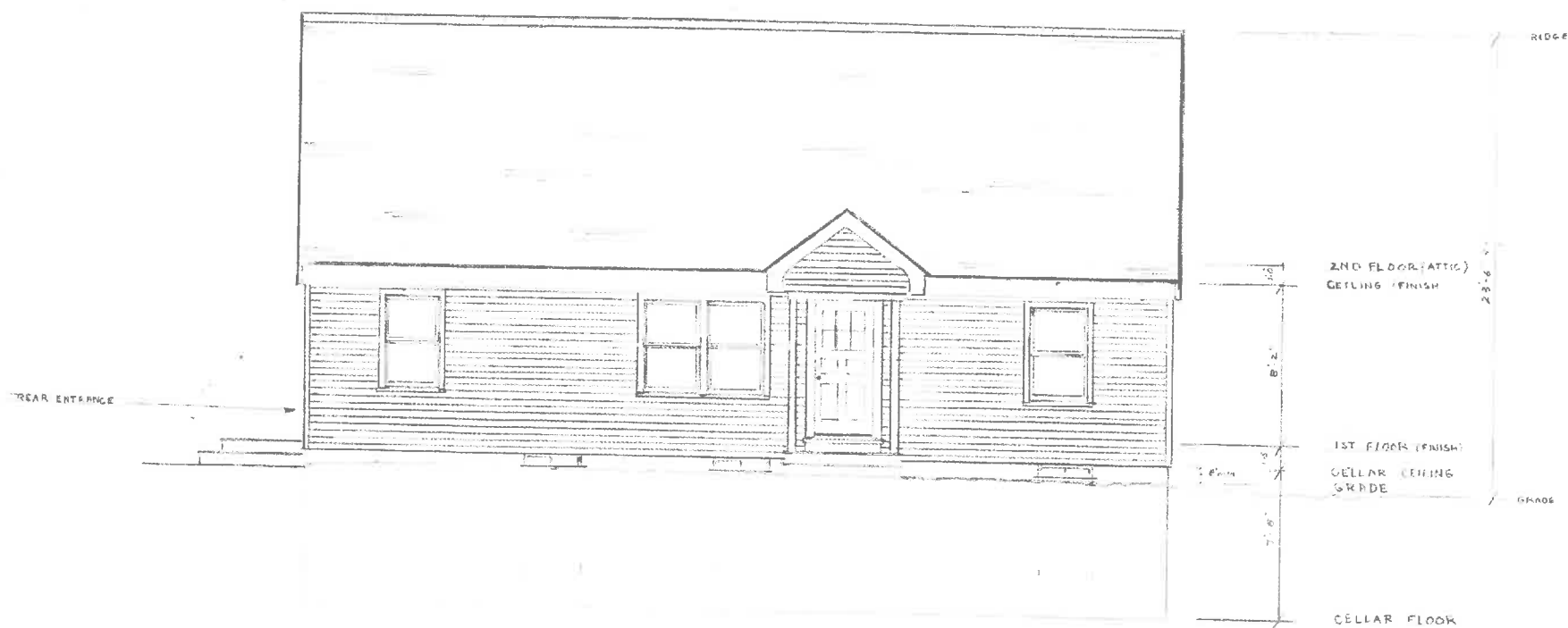
PERMIT DRAWINGS

A-1	FIRST FLOOR PLAN
A-2	SECOND FLOOR ATTIC PLAN
A-3	FRONT ELEVATION
A-4	RIGHT ELEVATION
A-5	LEFT ELEVATION
A-6	REAR ELEVATION
S-1	FOUNDATION PLAN
S-2	FIRST FLOOR FLOOR FRAMING
S-3	FIRST FLOOR WALL FRAMING
S-4	SECOND FLOOR FLOOR FRAMING
S-5	DETAILS: FOUNDATION + FRAMING
S-6	ROOF FRAMING
S-7	DETAILS: RADON + FLASHING



SECOND FLOOR ATTIC PLAN

A2



FRONT ELEVATION
SOUTH

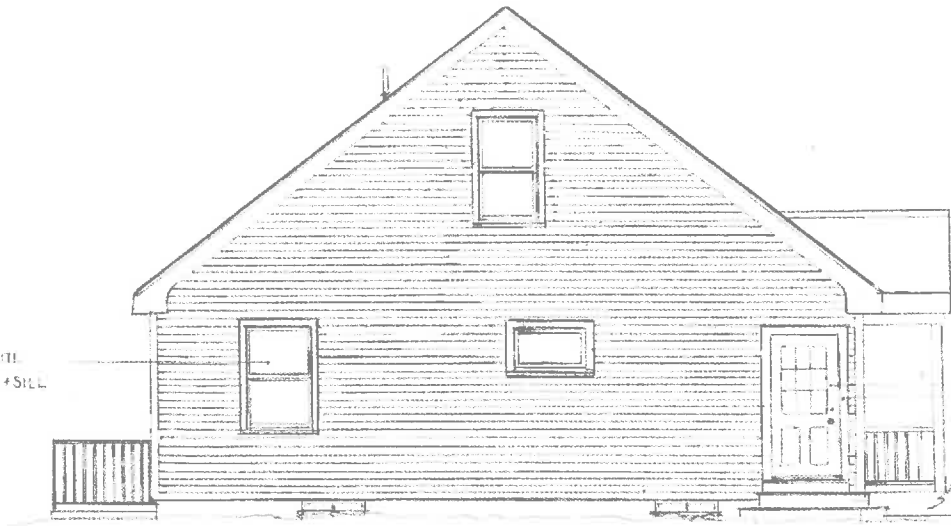
A3



RIGHT ELEVATION
EAST

A4

HARVEY VINYL WINDOWS WHITE
FACTORY APPLIED CASINGS + SILL

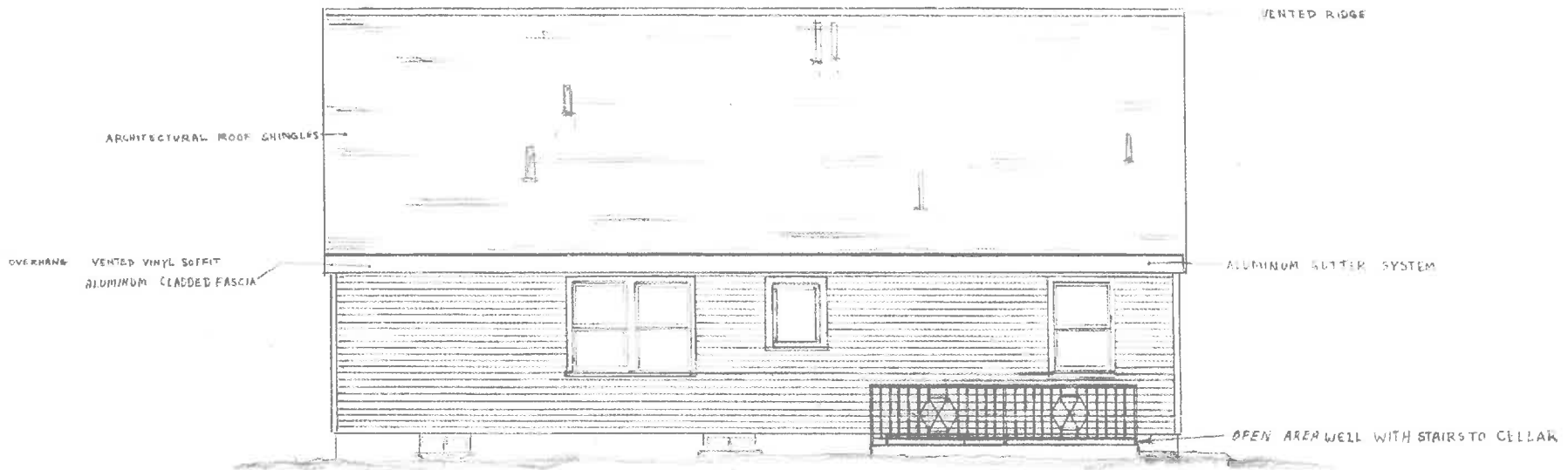


FIBERGLASS 971681 DOOR
PVC TRIM

LANDING
STEP ON 3 SIDES

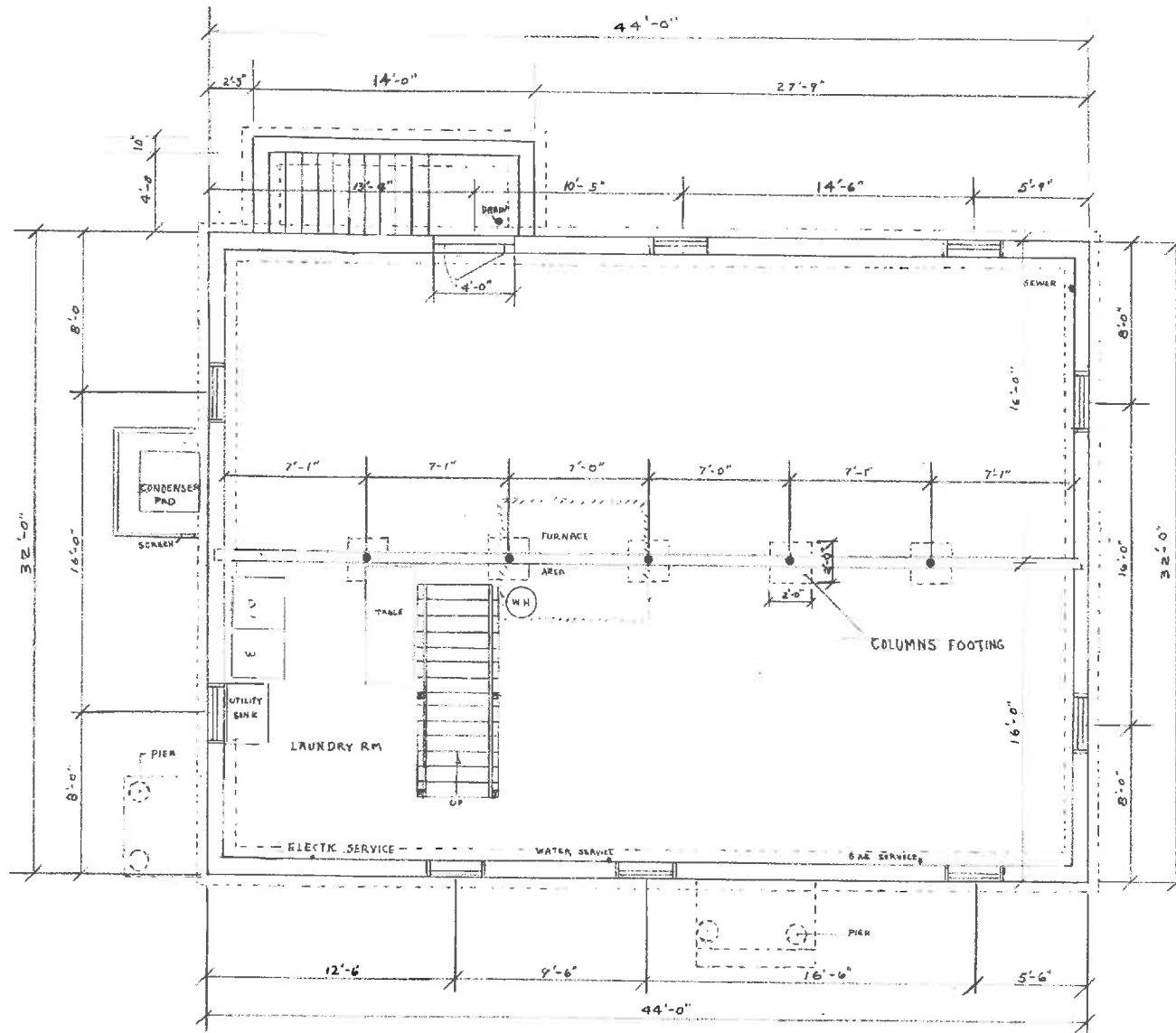
LEFT ELEVATION
WEST

A5



REAR ELEVATION
NORTH

A6



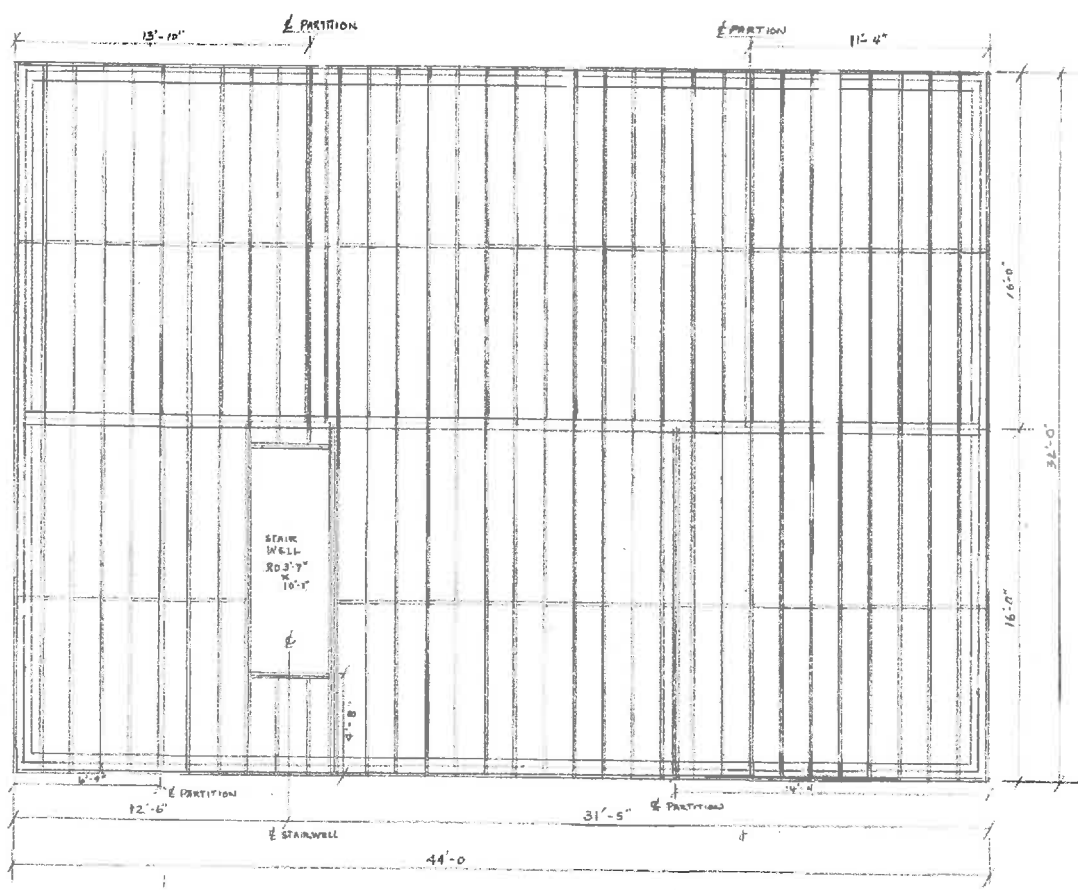
- FOOTINGS CONCRETE 2'X1'
- FOUNDATION WALLS 10" CONCRETE POUR
- ANCHORS ANCHOR BOLT 4'-00.
- COLUMN FOOTINGS 2'X2'X1'
- RADON PLAN SEE DETAILS S7
- FLOOR SLAB 4"± CONCRETE SMOOTH
- COLUMNS 4" LALLY'S W/PLATES
- ENTRY WALK PT. WOOD STAIRS - CONC. LANDING
- DOOR 3 1/2" SLIT FIBERGLASS
- WINDOWS 3 1/2" PT. FRAME VINYL W/SCREEN
- PIER 10" BIRCH POST 4" BRASS BEADS
- CONDENSER 4x6 PRIVACY SCREEN FENCE

SEE DETAILS S5

FOUNDATION PLAN

S1

- JOIST - 2x12 16" oc.
- SILLS - PKD 2x6 BOLT 6' OC.
- GIRDER - 3-2x12 LVL
- COLUMNS - 4 LALLY'S 7' OC.
- SUB-FLOOR - 3/4" T.G.
- BRIDGING - SOLID MID SPAN
- STAIRWELL - FRAMING DOUBLED



FIRST FLOOR FLOOR FRAMING

S2

LENGTH WALL

PARTITION

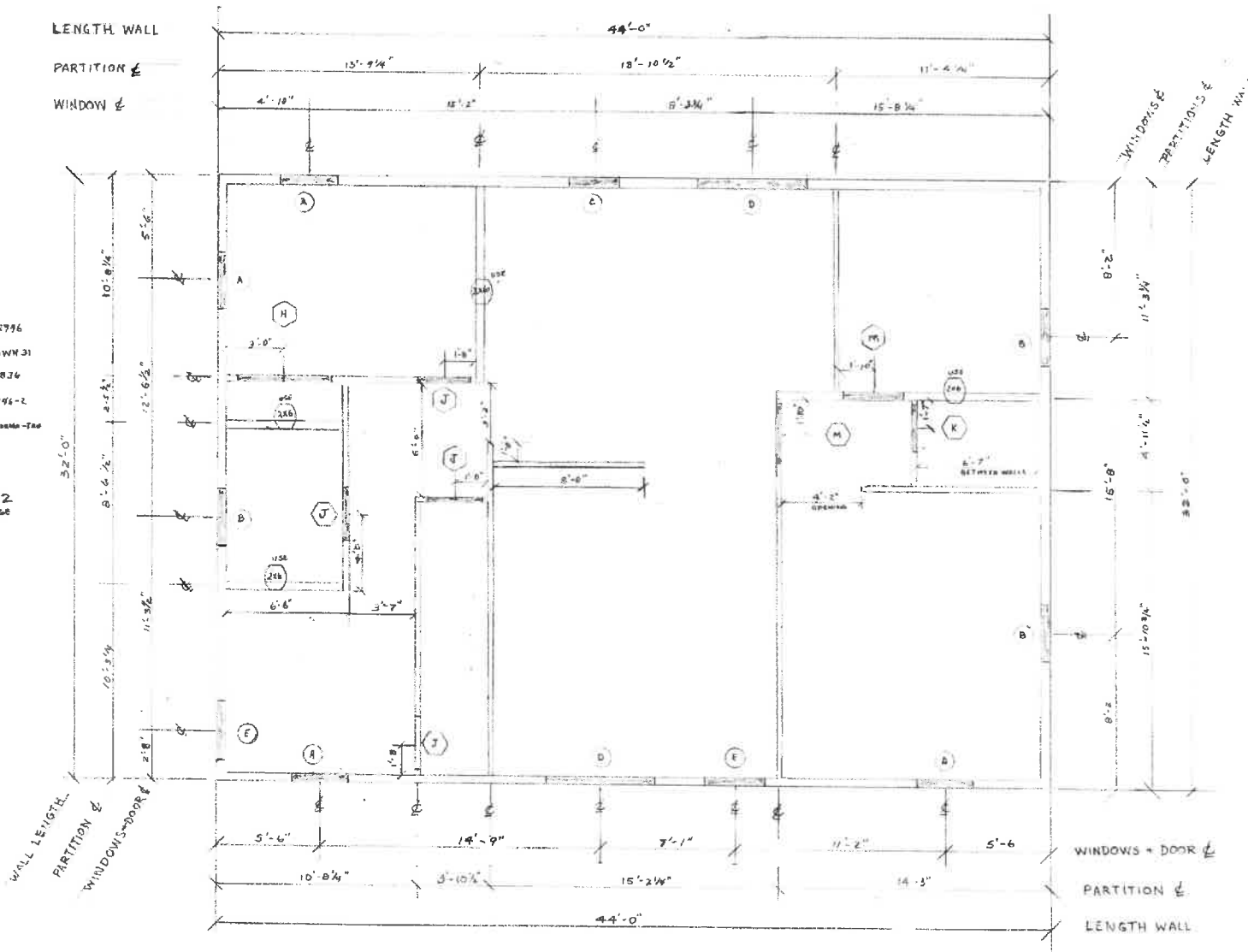
WINDOW

EXTERIOR WALL
DOOR+WINDOW SCHEDULE

- (A) RO 2'-11 1/2" x 4'-9 1/2" 2776
- (B) RO 3'-0 1/2" x 2'-0 1/2" AWW 31
- (C) RO 2'-8" x 3'-6" 2834
- (D) RO 5'-9 1/2" x 4'-9 1/2" 2796-2
- (E) RO 3'-2" x 6'-10 1/2" 2888-2A

NOTE:

- (A) TWO ATTIC WINDOWS A2
SIZE PAGE



PARTITION LAYOUT

- (H) RO 5'-2 1/2" x 6'-10"
- (J) RO 2'-10" x 6'-10"
- (K) RO 2'-6" x 6'-10"
- (M) RO 3'-2" x 6'-10"

FIRST FLOOR WALL FRAMING

S3

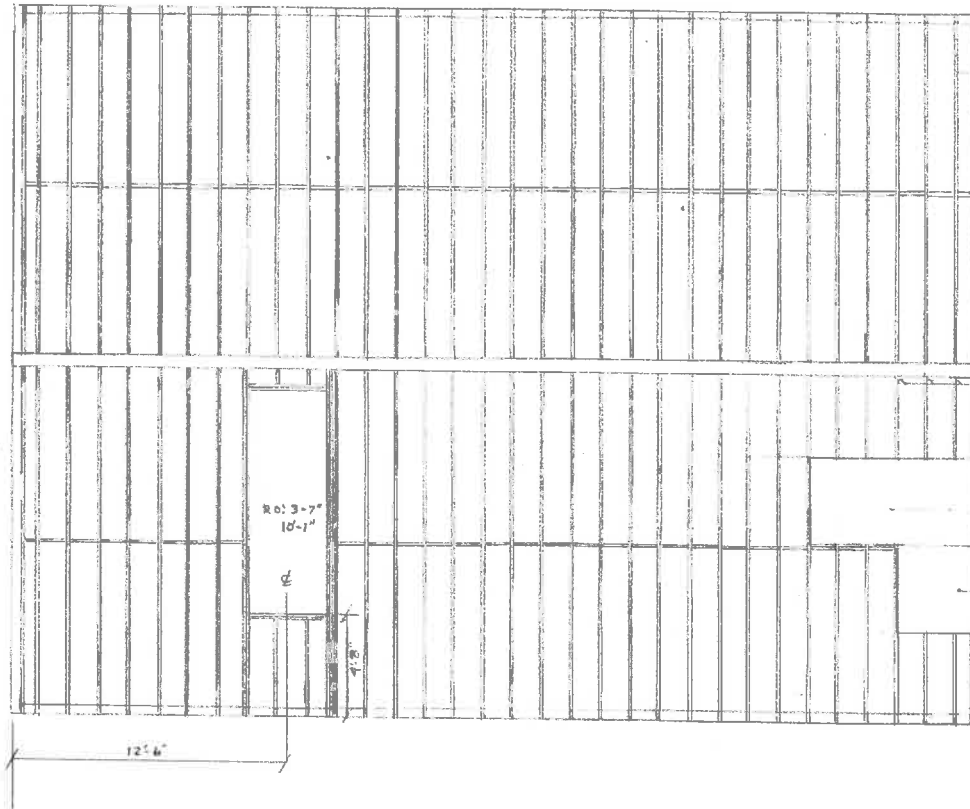
JOIST - 2x12 16" OC.

BEAM - 3 2x12 LVL'S

BRIDGING - 2x12 SOLID BRIDGING

SUB FLOORING - 3/4" TG GLUED+NAILED

JOIST HANGERS - 2x1/2 JOIST HANGERS



JOIST 16" OC.

SOLID BRIDGING MID SPAN

LVL BEAM
JOIST HANGERS

4x8 SHEET COP

SHEET STAGGERED JOINT 3/4" TO COR

SECOND FLOOR, FLOOR FRAMING

S4

SOFFIT VENT

BARGE RAFTER

RAFTERS 2x10 16"OC

RIDGE 2x12 LVL

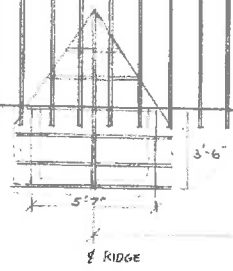
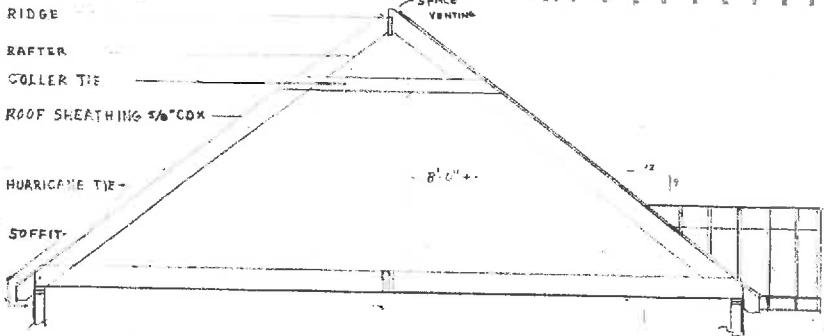
ROOF SHEATHING 5/8"CDX

HURRICANE TIES (RAFTER TO TOP PLATE)

CALIFORNIA STYLE ROOF FRAMING AT ENTRY

COLLER TIE 2x6 4'-0" OC

VENTING SOFFIT + RIDGE



ENTRY FRAMING

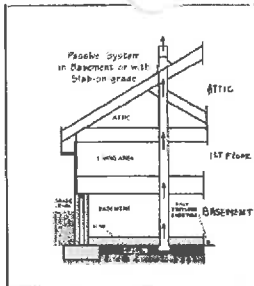
NOTE: CALIFORNIA STYLE FRAMING OF ROOF

LAYOUT
RAFTER PLUMB RISE 7" +
OVERHANG 9"

9" OVERHANG

ROOF FRAMING

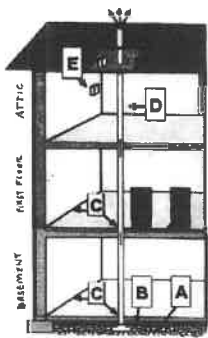
S6



What are Radon-Resistant

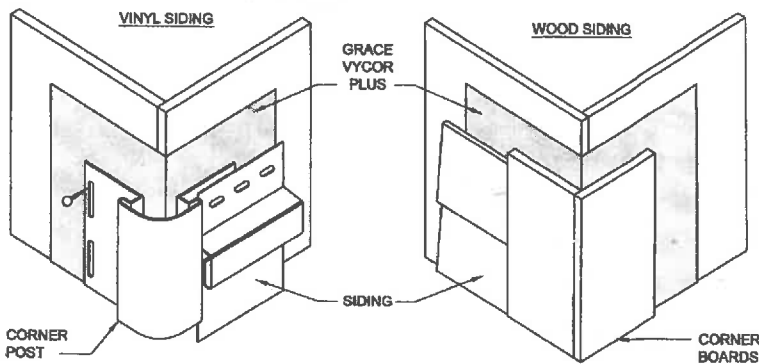
The techniques may vary for different foundations and site requirements, but the basic elements are:

A.	<p>Gas Permeable Layer This layer is placed beneath the slab or flooring system to allow the soil gas to move freely underneath the house. In many cases, the material used is a 4-inch layer of clean gravel. This gas-permeable layer is used only in homes with basement and slab-on-grade foundations; it is not used in homes with crawlspace foundations.</p>
B.	<p>Plastic Sheeting Plastic sheeting seams sealed is placed on top of the gas permeable layer and under the slab to help prevent the soil gas from entering the home. In crawlspaces, the sheeting is placed over the crawlspace floor.</p>
C.	<p>Sealing and Caulking All below-grade openings in the concrete foundation floor are sealed to reduce soil gas entry into the home.</p>
D.	<p>Vent Pipe A 3- or 4-inch gas-tight or PVC pipe (or other gas-tight pipe) runs from the gas permeable layer through the house to the roof to safely vent radon and other soil gases above the house.</p>
E.	<p>Junction Box An electrical junction box is included in the attic to make the wiring and installation of a vent fan easier. For example, you decide to activate the passive system because your test result showed an elevated radon level (4 pCi/L or more). A separate junction box is placed in the living space to power the vent fan alarm. An alarm is installed along the vent fan to indicate when the vent fan is not operating properly.</p>



- A. Gas permeable layer - Usually a 4-inch layer of clean coarse gravel is used beneath the slab to allow the soil gas to move freely underneath the house. Other options are to install a loop of perforated pipe or soil gas collection mat if sand or other soils are used under the slab.
- B. Plastic Sheeting - Polyethylene sheeting is placed on top of the gas permeable layer to help prevent the soil gas from entering the home. The sheeting also keeps concrete from clogging the gas permeable layer when the slab is poured.
- C. Vent Pipe - A 3- or 4- inch (recommended) PVC or other gas-tight pipe (commonly used for plumbing) runs creating a draft by natural stack effect.
- D. Junction Box - An attic location near the pipe is wired with an electrical junction box in case an electric venting fan is needed later to activate the system.
- E. Sealing and Caulking - All openings in the concrete foundation floor are sealed to prevent soil gas from entering the home. This is more easily done during construction than when the home is finished and occupied.

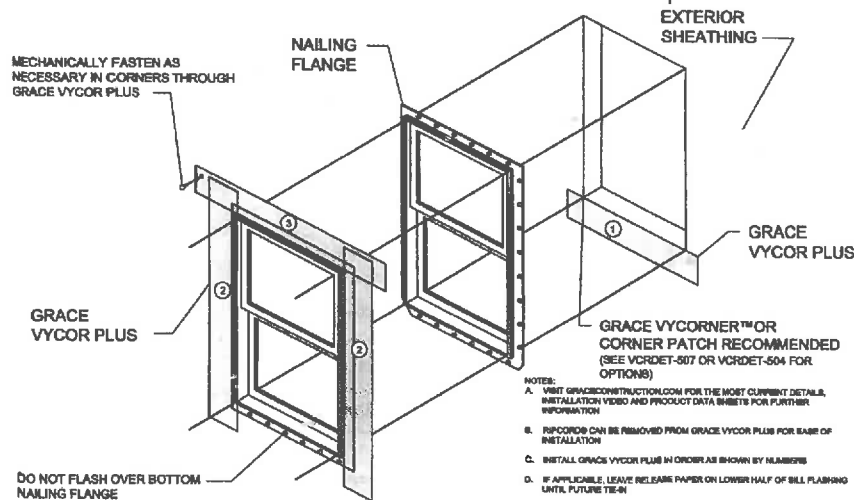
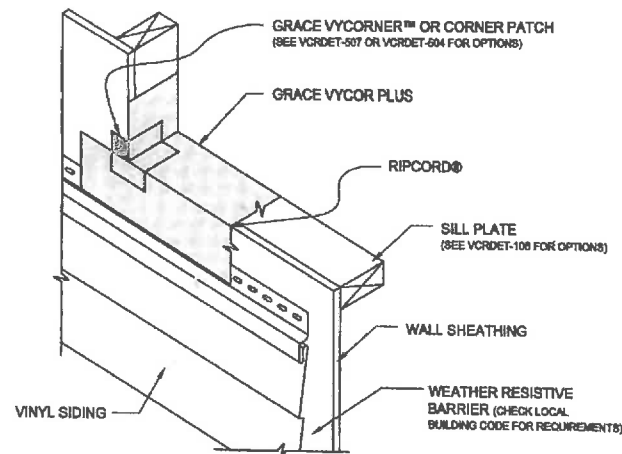
RADON INFO



NOTES:

- VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS
- RIPCORD® CAN BE REMOVED FROM GRACE VYCOR PLUS FOR BASE OF INSTALLATION
- INSTALL GRACE VYCOR PLUS AND WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS
- REFER TO LOCAL BUILDING CODES FOR WEATHER RESISTIVE BARRIER REQUIREMENTS
- EXTEND GRACE VYCOR PLUS BEYOND JOINT BETWEEN SIDING AND CORNER POSTBOARDS
- INSTALL GRACE VYCOR PLUS ON OUTSIDE CORNER FOR THE HEIGHT OF THE WALL
- DETAIL ALSO RELEVANT FOR GRACE VYCOR VHS AND VYCOR BUTYL

FLASHING INFO



NOTES:

- VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS FOR FURTHER INFORMATION
- RIPCORD® CAN BE REMOVED FROM GRACE VYCOR PLUS FOR BASE OF INSTALLATION
- INSTALL GRACE VYCOR PLUS IN ORDER AS SHOWN BY NUMBERS
- IF APPLICABLE, LEAVE RELEASE PAPER ON LOWER HALF OF SILL FLASHING UNTIL FUTURE TIE-IN
- CHECK LOCAL BUILDING CODES FOR WEATHER RESISTIVE BARRIER REQUIREMENTS AND INSTALL GRACE VYCOR PLUS WITH WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS
- DETAIL ALSO RELEVANT FOR GRACE VYCOR VHS AND VYCOR BUTYL

INFO
RADON+FLASHING

S7

1 SHAMROCK INKBERRY

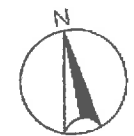
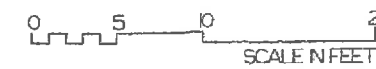
1 CHEROKEE BRAVE FLOWERING DOGWOOD

3 BOBO HYDRANGEA

4 GREEN VELVET BOXWOOD

2 SHAMROCK INKBERRY

Qty	Botanical Name	Common Name	Size/Condition
Trees			
1	<i>Cornus florida</i> 'Cherokee Brave'	CHEROKEE BRAVE FLOWERING DOGWOOD	6' #15
Shrubs			
4	<i>Buxus</i> x 'Green Velvet'	GREEN VELVET BOXWOOD	#3
3	<i>Hydrangea paniculata</i> 'Bobo'	BOBO HYDRANGEA	#3
3	<i>Ilex glabra</i> 'Shamrock'	SHAMROCK INKBERRY	18-24" #3



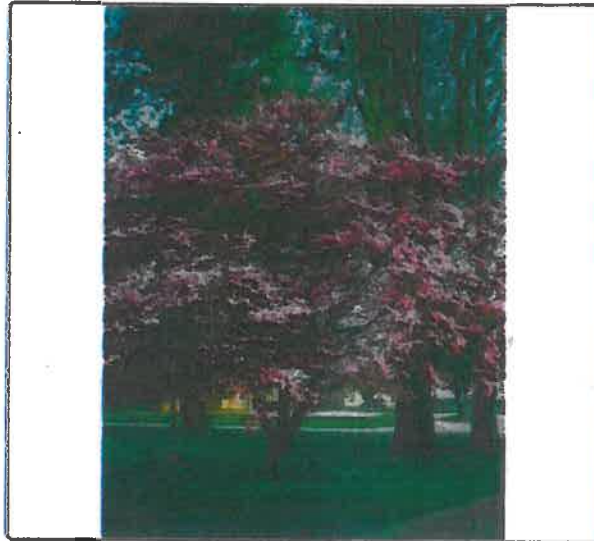
Mahoney's
GARDEN CENTERS

BARBARA RESIDENCE 86 BLANCHARD RD BELMONT, MA		
client	date	order
scale 1" = 8'	1 = 10'	
drawn by J.C.	checked by	drawing #

BARERA



GREEN VELVET BOXWOOD
Buxus x 'Green Velvet'



CHEROKEE BRAVE FLOWERING DOGWOOD
Cornus florida 'Cherokee Brave'



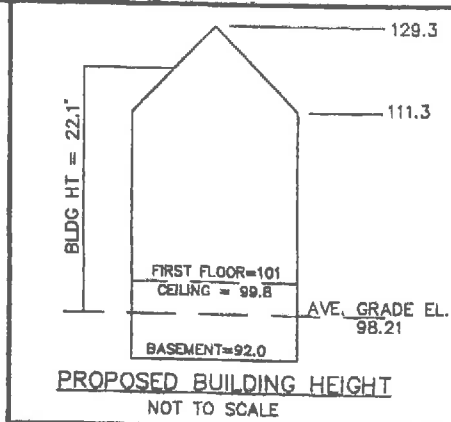
BOBO HYDRANGEA
Hydrangea paniculata 'Bobo'



SHAMROCK INKBERRY
Ilex glabra 'Shamrock'

PROPOSED
83.3% OF BASEMENT UNDERGROUND
THEREFOR BASEMENT IS NOT A STORY

#9
SETBACK = 24.2'



LOT 1

LOTS A & A1
7,524± S.F.

PROPOSED
DRIVEWAY

PROPOSED
UNENCLOSED
PORCH (4.3.2)

PROPOSED
BUILDING

BASEMENT
ACCESS

#144

LOT B

BLANCHARD ROAD

THERE ARE NO STREET TREES.

ZONING DISTRICT: SC (SINGLE RESIDENCE C)

	REQ.	EXISTING	PROP.
FRONT S/B (BLANCHARD):	25'	31.4'	25.1'
FRONT S/B (MANNIX):	24.6'	24.0'	25.5'
FRONT S/B (MANNIX): porch	19.6'	-	23.5'
SIDE SETBACK:	10'	7.7'	10.0'
REAR SETBACK:	30'	40.1'	30.9'
MAXIMUM LOT COVERAGE:	25%	13.7%	19.6%
MINIMUM OPEN SPACE:	50%	82.5%	76.3%
LOT FRONTAGE:		70.01'	

TOTAL LOT AREA: 7,524± S.F.

OWNER: JOHN BARERA JR.
15089/16
ASSESSORS MAP 21 - PARCEL 102

PROPOSED PLOT PLAN
#136 BLANCHARD ROAD
IN
BELMONT, MA
(MIDDLESEX COUNTY)

SCALE: 1" = 20' DATE: 12/12/2017



ROBER SURVEY

1072 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533

DWG. NO. 5349PP2.DWG



CLIFFORD E. ROBER, PLS

DATE

8/20/18

Zoning Compliance Check List

Properties Located within the SR-C Districts
(To be Completed by a Registered Land Surveyor)



Property Address: 136 BLANCHARD ROAD

Surveyor Signature and Stamp: *Clifford*

Date: 8/20/18

<u>Per §4.2 of the Zoning By-Law</u>				
		REQUIRED	EXISTING	PROPOSED
Lot Area (sq. ft.)		9,000	7524	—
Lot Frontage (feet)		75	70.01	—
Lot Coverage (% of lot)		25%	13.7	19.6
Open Space (% of lot)		50%	82.5	76.3
Setbacks: (feet)	➤ Front ^{(a) <i>Blanchard/Manist</i>}	25 / 24.6	31.4 / 24	25.1 / 25.5
	➤ Side/Side	10	7.7	10.0
	➤ Rear	30	40.1	30.9
Building Height:	➤ Midpoint (feet)	30		22.1
	➤ Ridge (feet)			31.1
	➤ Stories	2 1/2		2 1/2
1/2 Story (feet) (Per §1.4)	➤ Perimeter (50%)			
	➤ Area (60%);			
	➤ Length (75%)			
HVAC:		Prohibited in Front Yard and Side and Rear Setbacks		

(a) Front setback is equal to the average front setbacks of the abutting properties on either side.

SUBMIT CALCULATIONS for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated

Dear Neighbors / Notice of Intent to Build,

In 1981, the Barera Family moved to Belmont in the hopes of making the community our new home. We rented our first apartment on Townsend Rd in the Payson Park Neighborhood. We were thrilled when only two years later, we had the opportunity to purchase 136 Blanchard Rd/Mannix Circle from Joe Mannix, the town's long time resident & electrical inspector. His elderly mother had passed away; he sold us her house, which was next door to his. Joe & his wife were wonderful neighbors and adopted our two young boys as their "next door" grandchildren. Time flew by at Blanchard Rd/Mannix Circle and the children went through the Belmont school system and off to college and on to adult life.

Now, as aging empty nesters, Belmont, particularly our spot (virtually at the corner of Blanchard Rd and Concord Ave) has all the things we need, such as public transportation, local shopping, access to Beech St Community Center, hospitals and medical facilities etc ... The only issue is our house.

Although, the cape was perfect for raising a family, it is not very well suited for our old age. The existing, four bedroom house is spread over three floors. This could prove to be difficult for us as we age. We want to have all of our living space on one floor with wide doorways and accessible bathrooms, particularly as either of us may need the use of a wheel chair in our elder years.

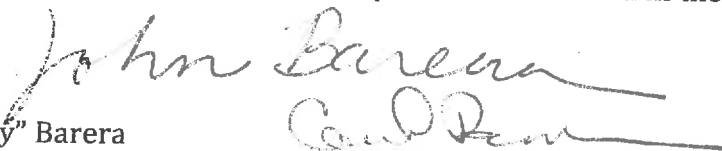
With all that in mind, the new house that we are proposing is well suited to the neighborhood and adheres to the spirit of the special permit criteria. The existing cape (nonconforming structure) would be replaced with a modest, ranch style home, which will be similar in style and scope to the existing ranch houses on the cul de sac (Mannix Circle). Several of the other houses on the cul de sac are significantly larger than the house that we are proposing, so our house will not be out of proportion with the other adjacent homes. In fact, we believe that the new house will blend in well and fits the character of the neighborhood while it's indoor first floor living will accommodate the needs of older occupants.

The two bedroom, two bath ranch will be constructed by a well known, local builder (Arthur Ronayne and Sons of Arlington) with thoughtful planning, in consideration of neighbors, to preserving the existing atmosphere. Eg. Only minor changes are proposed with regard to specific placement of the existing landscape including trees, flowerbeds, driveway etc. ; scale and scope would remain the same.

Many of you know us as long time neighbors; others of you we look forward to meeting. Please do not hesitate to call us with any questions or concerns. We can be reached on our home phone # 617-484-1848 (which is also listed in the town book.)

Thank you,

Carol and John "Ray" Barera

Handwritten signatures of John Barera and Carol Barera. The signature for John Barera is written in a cursive style, and the signature for Carol Barera is also in cursive, appearing to be "Carol Barera".

Tuesday August 21st 2018

Parcel	Owner	Mailing Address	Town	State	Zip	Property Address
21-91	DIGIOVANNI TE SILVIO V	LF 49 GLENN RD	BELMONT	MA	02478	49 GLENN RD
21-99	MAURO TE EMILIO <i>Em</i>	GF 21 MANNIX CIR	BELMONT	MA	02478	21 MANNIX CIR
21-96	REMUS TE KRISTINE E <i>FG</i>	GF 126 BLANCHARD RD	BELMONT	MA	02478	126 BLANCHARD RD
21-98	NAJARIAN SINA MARITZA (DINJIAN)	LF 18 MANNIX CIR	BELMONT	MA	02478	18 MANNIX CIR
21-110	HAFFNER TE ARTHUR B <i>BJA</i>	GF 36 STEWART TERR	BELMONT	MA	02478	36 STEWART TERR
21-108	MCBRIDE LINDA J <i>LJ</i>	GF 24 STEWART TERR	BELMONT	MA	02478	24 STEWART TERR
21-101	YAN TE ZHIPING <i>Zhiping Yan</i>	GF 9 MANNIX CIR	BELMONT	MA	02478	9 MANNIX CIR
21-111	PARNAGIAN TE STEVEN K	LF 40 STEWART TERR	BELMONT	MA	02478	40 STEWART TERR
21-100	XU TE CHUNXIAO <i>Lijie Xu</i>	GF 15 MANNIX CIR	BELMONT	MA	02478	15 MANNIX CIR
21-103	BETH-EL TEMPLE CENTER <i>Lara Hattaway</i>	CONCORD AVE GF	BELMONT	MA	02478	144 BLANCHARD RD
21-92	PAPAZIAN MARIAN Y <i>mailed to:</i>	418 COMMON ST	BELMONT	MA	02478	55 GLENN RD
21-109	WU TC FUSHENG	LF 30 STEWART TERR	BELMONT	MA	02478	30 STEWART TERR
21-95	GRAITER TE JULIEN	LF 118 BLANCHARD RD	BELMONT	MA	02478	118 BLANCHARD RD
21-97	YARDEMIAN TRS RAFFI AND CHRISTINE	LF 10 MANNIX CIR	BELMONT	MA	02478	10 MANNIX CIR
21-102	BARERA JR JOHN R	<i>Self</i> → 71 LIVERMORE RD	BELMONT	MA	02478	136 BLANCHARD RD
21-107	CHEN TE HONG XIN	LF 18 STEWART TERR	BELMONT	MA	02478	18 STEWART TERR
21-93	KALOOSTIAN TE PETER J	LF 61 GLENN RD	BELMONT	MA	02478	61 GLENN RD
21-103-A	JEWISH COMM CENTER	2 CONCORD AVE	BELMONT	MA	02478	2 CONCORD AVE
21-94	CUNNINGHAM TRS KENNETH E <i>mailed to:</i>	201 BEECH ST	ROSLINDALE	MA	02131	112 BLANCHARD RD

Spoke to Choen Admin Lara Hattaway re 2 Concord Ave (Synagog)
 & rental @ 144 Blanchard. She will speak to Rabbi

LF - Left Flyer
 GF & initial - spoke to resident & gave flyer (had them initial)

Neighboring Buildings and Homes



9 Mannix Circle



10 Mannix Circle



15 Mannix Circle



18 Mannix Circle



21 Mannix Circle



126 Blanchard Road



144 Blanchard Road



2 Concord Avenue